CHEROKEE NATION ENTERPRISES/ CULTURE & TOURISM

Cherokee National Prison - Phase One

Tahlequah, OK

ATTACHMENT A FLOOR PLAN FOR INFORMATION ONLY

OWNER

CHEROKEE NATION ENTERPRISES / CULTURE & TOURISM 111 WEST CHEROKEE STREET CATOOSA, OK 14015 PHONE: (918) 384-7800 FAX: (918) 439-4364

ARCHITECT

SIKES ABERNATHIE ARCHITECTS, P.C. 406 SOUTH BOULDER AVENUE, SUITE 100 TULSA, OK 74103 PHONE: (918) 599-0541 FAX: (918) 588-0983

DRAWING INDEX

ARCHITECTURAL CIØI SITE SURVEY BASEMENT & FIRST FLOOR DEMO PLANS

BASEMENT & FIRST FLOOR PLANS

 $\Delta 111$ ROOF PLAN EXISTING ELEVATIONS ELEVATIONS WALL SECTION & DETAILS WINDOW DETAILS & SCHEDULES

A502 DOOR DETAILS & SCHEDULES

STRUCTURAL ENGINEER

CYNTERGY AEC 320 SOUTH BOSTON AVE., SUITE 1200 TULSA, OK 74103 TEL: (918) 877-6000 FAX: (918) 877-4000

STRUCTURAL

LANCORP ENGINEERING 9717 EAST 42ND STREET, SUITE 101 TULSA, OK 74146-3613 TEL: (918) 392-0911 FAX: (918) 392-0912

MECHANICAL

MECHANICAL ENGINEER

MOOI MECHANICAL & PLUMBING SPECIFICATIONS

MIOO FIRST & SECOND LEVEL MECHANICAL PLANS

PLUMBING ENGINEER

PIOO FIRST & SECOND LEVEL PLUMBING PLANS

LANCORP ENGINEERING 9717 EAST 42ND STREET, SUITE 101 TULSA. OK 74146-3613 TEL: (918) 392-0911 FAX: (918) 392-0912

ELECTRICAL ENGINEER

LANCORP ENGINEERING 9717 EAST 42ND STREET, SUITE 101 TULSA, OK 74146-3613 TEL: (918) 392-0911 FAX: (918) 392-0912

LANDSCAPE ARCHITECT

HOWELL & VANCUREN 601 SOUTH LEWIS AVENUE TULSA, OK 74104 TEL: (918) 592-1270 FAX: (918) 592-1240

LIØI LANDSCAPE PLAN

ELECTRICAL LANDSCAPING

EIOO FIRST & SECOND LEVEL LIGHTING PLANS

EIØI ELECTRICAL SCHEDULES & DIAGRAMS

ATTACHMENT A FLOOR PLAN INFORMATION ONLY

PLUMBING

1. PROJECT DATA

I. LOCATION A. LEGAL DESCRIPTION:

THE NORTHERLY 150 FEET OF LOT I, IN BLOCK 95, IN THE CITY OF TAHLEQUAH, OKLAHOMA, ACCORDING TO THE OFFICIAL PLAT THEREOF, KNOWN AS THE OLD CHEROKEE NATION PRISON.

2. SITE DATA

A. TOTAL SITE AREA 3. BUILDING DATA

BASEMENT LEVEL

FIRST LEVEL

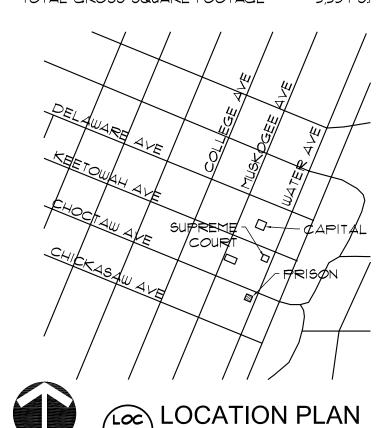
NORTH

1,697 S.F. 1,660 S.F.

.327 ACRES

(1425Ø SQFT)

TOTAL GROSS SQUARE FOOTAGE 3,357 S.F.



CS NOT TO SCALE

2. CODE REVIEW

INTERNATIONAL BUILDING CODE 2006 INTERNATIONAL MECHANICAL CODE INTERNATIONAL PLUMBING CODE 2005 NATIONAL ELECTRIC CODE 2006 INTERNATIONAL FIRE CODE

OCCUPANCY:

CONSTRUCTION TYPE:

TYPE V-B FULLY SPRINKLERED NFPA 13 SYSTEM HEIGHT/AREA LIMITATIONS:

<u>ALLOWABLE:</u> BASE(PER TABLE 503) 1 STORIES(40 FEET) \$ 6,000 S.F.

WITH SPRINKLER INCREASE(PER 504.2 & 506.3) -2 STORIES(60 FEET) & 24,000 S.F.

FIRE RESISTIVE REQUIREMENTS

STRUCTURAL FRAME TABLE 601 EXTERIOR BEARING WALLS TABLE 601 INTERIOR BEARING WALLS Ø HR TABLE 601 EXTERIOR NON BEARING WALLS Ø HR TABLE 601 Ø HR TABLE 601 INTERIOR NON BEARING WALLS TABLE 601 FLOOR CONSTRUCTION Ø HR TABLE 601 ROOF CONSTRUCTION Ø HR CORRIDORS Ø HR TABLE 1016.1

3. GENERAL NOTES

- ALL EXTERIOR AND INTERIOR RESTORATION, AND NEW CONSTRUCTION IN HISTORICALLY CONTRIBUTING AREAS, MUST CONFORM WITH THE SECRETARY OF INTERIORS STANDARDS FOR REHABILITATION, AS PUBLISHED BY THE U.S. DEPARTMENT OF INTERIOR, NATIONAL PARK SERVICE.
- THESE DOCUMENTS INDICATE THE INTENT OF THE PHASE ONE IMPROVEMENTS/REPAIRS AND MAY REQUIRE ADDITIONAL INTERPRETATION OR DETAIL AS CONSTRUCTION CONDITIONS OCCUR. DIRECT ALL QUESTIONS TO THE OWNER OR ARCHITECT PRIOR TO INSTALLATION.
- 3. THE SQUARE FOOTAGE IN THESE DOCUMENTS, DEFINED AS TOTAL AREA, WAS CALCULATED FROM THE EXTERIOR FACE OF WALL AT EACH LEVEL.
- 4. ALL WORK SHALL MEET ALL GOVERNING CODE JURISDICTIONS.
- 5. VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE PRIOR TO CONSTRUCTION.
- 6. CONTRACTOR SHALL COORDINATE ALL USE OF THE SITE WITH THE OWNER PRIOR TO CONSTRUCTION.
- 1. ALL FIRE RATED ASSEMBLIES SHOWN IN THESE DOCUMENTS SHALL BE CONTINUOUS FROM THE TOP OF THE FLOOR ASSEMBLY BELOW TO THE UNDERSIDE OF THE FIRE RATE ASSEMBLY ABOVE OR TO DECK. PROVIDE FIRESTOPPING MATERIAL AS REQUIRED AT ALL VOIDS AND CAVITIES.
 - REFER TO TECHNICAL SPECIFICATION, CHEROKEE NATION ENTERPRISES REQUEST FOR PROPOSAL, FOR ADDITIONAL BID INFORMATION.
- 9. REFER TO CIVIL/LANDSCAPE DRAWINGS FOR SITE DETAILS AND REQUIREMENTS.
- 10. FINAL LOCATIONS OF FIRE EXTINGUISHERS SHALL BE DETERMINED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT.
 - CONTRACTOR SHALL PROVIDE 8'-0" X 6'-0" EXTERIOR WEATHER PROOF PROJECT SIGN THAT LISTS THE NAME OF THE PROJECT,
- OWNER, ARCHITECT, CONTRACTOR AND FUNDING SOURCES. SUBMIT COPY TO OWNER FOR APPROVAL PRIOR TO FABRICATION. 12. CONTRACTOR TO COORDINATE TESTING & PROVIDE FOR TREATMENT OF ALL CONTAMINANTS, INCLUDING BUT NOT LIMITED TO
- 13. CONTRACTOR TO PROVIDE 24 HR NOTICE TO OWNER FOR COORDINATION OF ALL TESTING.

4. MISC. CODE ISSUES

ASBESTOS, MOLD, TERMITE, SOIL & LEAD.

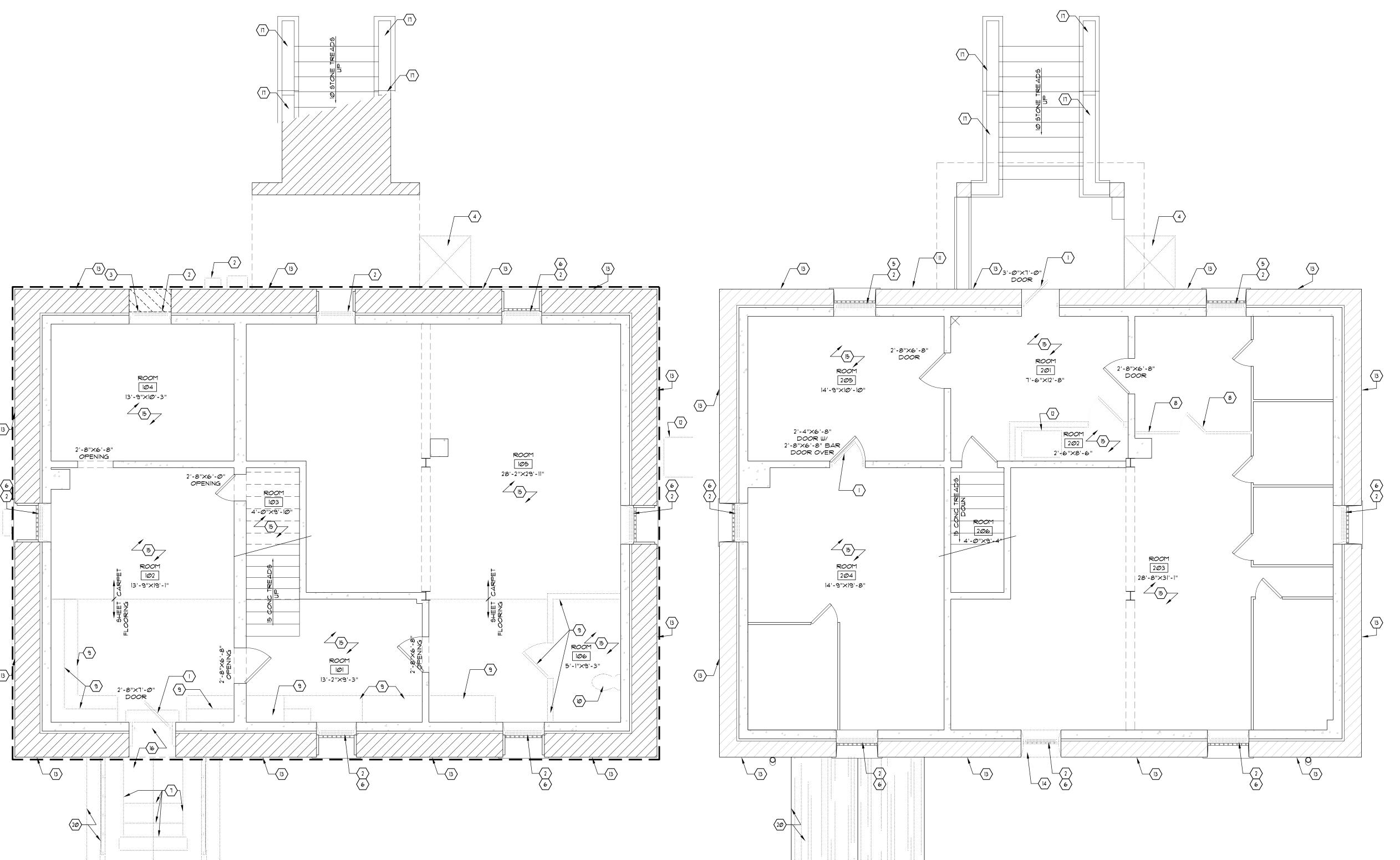
THIS PROJECT IS GOVERNED BY THE REQUIREMENTS ESTABLISHED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT ALL PROPOSED MODIFICATIONS TO THESE DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT PRIOR TO COMMENCEMENT OF THE WORK.

5. REVISION LOG

NAME:	DATE:
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¬ BASEMENT LEVEL DEMOLITION PLAN

Al@I SCALE: 1/4" = 1'-@"

NORTH





EXISTING WALLS, DOORS, ETC. TO REMAIN. REMOVE MISC. FINISHES WHICH CONFLICT WITH NEW CONSTRUCTION



EXISTING WALLS, DOORS, ETC. TO BE REMOVED FROM FINISH FLOOR TO ROOF. CONTRACTOR SHALL INCLUDE IN SCOPE OF WORK MISC. DEMOLITION OF ITEMS NOT SHOWN ON THESE DRAWINGS TO PROVIDE THE INTENT OF THE DESIGN. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL ITEMS NOT SHOWN WHICH CONFLICT WITH DEMOLITION FOR ADDITIONAL INSTRUCTIONS. ALL DOORS, FRAMES, MILLWORK, ETC TO BE SALVAGED & STOCKPILED.

DEMOLITION GENERAL NOTES

DEMOLITION PLANS & NOTES ARE INTENDED TO IDENTIFY GENERAL ITEMS REQUIRED TO BE REMOVED TO ACCOMMODATE PROJECT DESIGN & TO SERVE AS A CONVENIENCE TO THE CONTRACTOR, INCIDENTAL DEMOLITION NOT SPECIFICALLY CALLED FOR BUT ESSENTIAL TO ACCOMMODATE NEW CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL COORDINATE WITH THE OWNER EXISTING COMPONENTS TO REMAIN.

DELIVER ALL ITEMS INDICATED AS REMOVED 4 SALVAGED TO THE OWNER.

4. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL & PLUMBING ITEMS NOT UTILIZED IN THE NEW CONSTRUCTION. CAP OR SEAL ALL ITEMS ABOVE THE CEILING OR BELOW

5. EXISTING ROOF PENETRATIONS SHALL BE REMOVED OR RE-USED AS DETERMINED BY THE ARCHITECT. THOSE PENETRATIONS WHICH ARE RE-USED SHALL BE MADE WEATHER TIGHT AT THE COMPLETION OF CONSTRUCTION ABANDONED PENETRATIONS, INCLUDING PLUMBING VENTS, CONDUITS, VENT STACKS, ETC. SHALL BE REMOVED 4 OPENINGS SEALED WITH NEW ROOF DECK & ROOFING.

REMOVE ALL EXISTING ELECTRICAL PANELS, RECEPTACLES, SWITCHES, CONDUITS, WIRING, ETC., UNLESS OTHERWISE NOTED TO REMAIN. THE OWNER, AT HIS DISCRETION, MAY DESIGNATE EXISTING FIXTURES FOR REMOVAL & SALVAGE.

IF STRUCTURAL CONDITIONS OTHER THAN SHOWN ON DRAWINGS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR FURTHER INSTRUCTIONS.

PRIOR TO DEMOLITION, THE CONTRACTOR SHALL DETERMINE THE EXTENT OF WOOD CASINGS & MOLDINGS TO BE REMOVED & SALVAGED FOR RE-USE. CONTRACTOR SHALL REPLACE ANY WOODWORK REMOVED IN ERROR WITH IDENTICAL WOODWORK. PROTECT ALL PLASTER & WOOD WORK DURING CONSTRUCTION. RE: WALL TYPES & DOOR & WINDOW DETAILS FOR ADDITIONAL INFORMATION.

9. REMOVE ALL FLOOR COVERINGS, MASTICS, BASE WAINSCOT & PANELING THROUGHOUT THE BUILDING WHICH ARE NOT USED IN NEW CONSTRUCTION, MISC, BRACKETS & FURRING ON WALLS ARE TO BE REMOVED OR RESURFACED.

10. ALWAYS PROTECT ADJACENT SURFACES & FEATURES TO REMAIN FROM DAMAGE DURING DEMOLITION.

II. RELATED ASBESTOS ABATEMENT SHALL BE PERFORMED UNDER SEPARATE CONTRACT & SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF THE WORK OF

12. SALVAGE & STOCKPILE ALL EXISTING DOORS, WHICH HAVE BEEN REMOVED FROM THEIR ORIGINAL LOCATIONS & STORED THROUGHOUT THE BUILDING, FOR USE IN THE NEW

18. REMOVE ALL EXISTING ROOFING MATERIALS DOWN TO CONCRETE ROOF STRUCTURE - PROTECT ANY OPENINGS IN EXISTING CONC SLAB FOR NEW CONST.

DEMOLITION KEYNOTE LEGEND

- REMOVE EXISTING DOOR & FRAME SALVAGE FOR REUSE IN NEW CONSTRUCTION.
- REMOVE WINDOW SASH & FRAME DELIVER TO OWNER FOR STORAGE.
- REMOVE GRADE FROM SILL & PREP FOR NEW CONC SILL - PROTECT FOR NEW CONSTRUCTION - REGRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM SILL.
- REMOVE EXISTING LIFT DELIVER TO OWNER FOR STORAGE.
- REMOVE EXISTING IRON WINDOW BARS SALVAGE FOR REUSE IN NEW CONSTRUCTION. REMOVE PAINT FROM EXISTING IRON WINDOW BARS
- REMOVE MASONRY STEPS & RETAINING WALLS PREP AREA FOR NEW STEPS & ACCESSIBLE LIFT.
- REMOVE EXISTING IRON JAIL CELLS DELIVER TO OWNER FOR STORAGE AND USE IN FUTURE INTERIOR

PREPARE AND PROTECT FOR NEW FINISH.

- REMOVE WALLS, DOORS, CABINETRY, FIXTURES & EQUIP FOR NEW CONSTRUCTION.
- 10. REMOVE EXISTING PLUMBING FIXTURES & PIPING CAP ALL EXISTING LINES BELOW FINISH SURFACE, TYP. REMOVE EXISTING ELECTRICAL, DATA, TELECOM FIXTURES & WIRING BACK TO MAIN - SALVAGE FIXTURES
- FOR REUSE IN NEW CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT PROTECT ANY OPENINGS.
- REMOVE ALL LOOSE, DETERIORATED OR BROKEN MORTAR & MASONRY REFER TO SPECIFICATION SECTIONS 04860, 04900, 04901 & NPS PRESERVATION BRIEF *2 FOR SPECIFIC REQUIREMENTS - PREPARE FOR REPOINTING OF MASONRY.
- REMOVE MASONRY AT WINDOW SILL FOR HISTORIC OPENING - STORE MASONRY FOR RE-USE IN NEW CONSTRUCTION, RE: ELEVATIONS
- 15. REMOVE FLOOR COVERING THROUGHOUT.
- 16. REMOVE CONCRETE SLAB/GRADE TO ALLOW FOR NEW CONC SLAB 1/2" BELOW SURFACE OF EXISTING CONC BASEMENT SLAB.
- 17. CLEAN & REPAIR ALL SPALLING, DETERIORATED & CRACKED AREAS IN CAST-IN-PLACE CONCRETE.
- REMOVE ALL EXISTING GROUT & PREPARE FOR NEW CONSTRUCTION.
- REMOVE SOIL TO BOTTOM OF FOUNDATIONS CLEAN & PROTECT SURFACE & FOUDATIONS FOR NEW CONSTRUCTION.

20. REMOVE EXISTING STAIR COVER STRUCTURE.



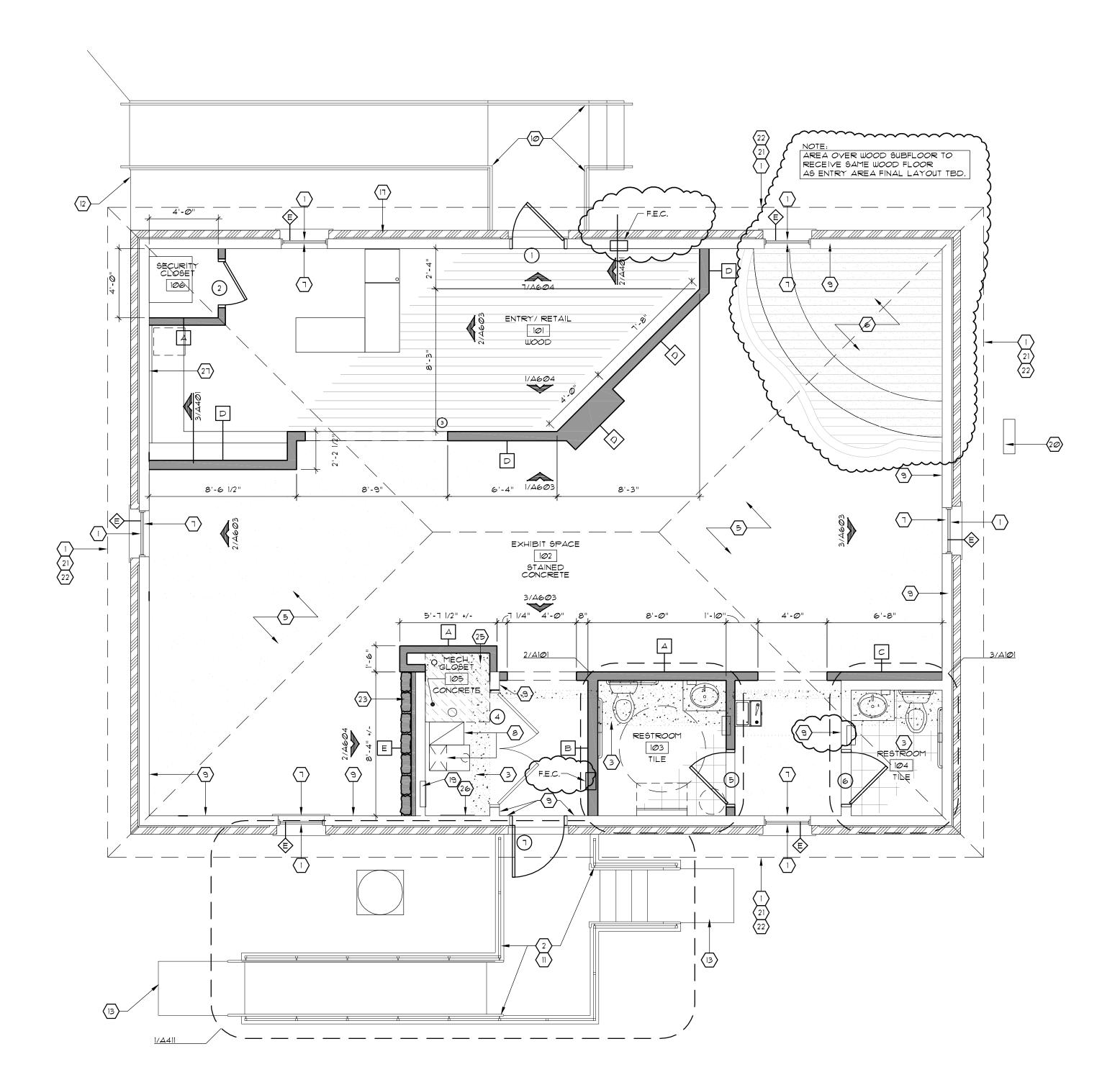
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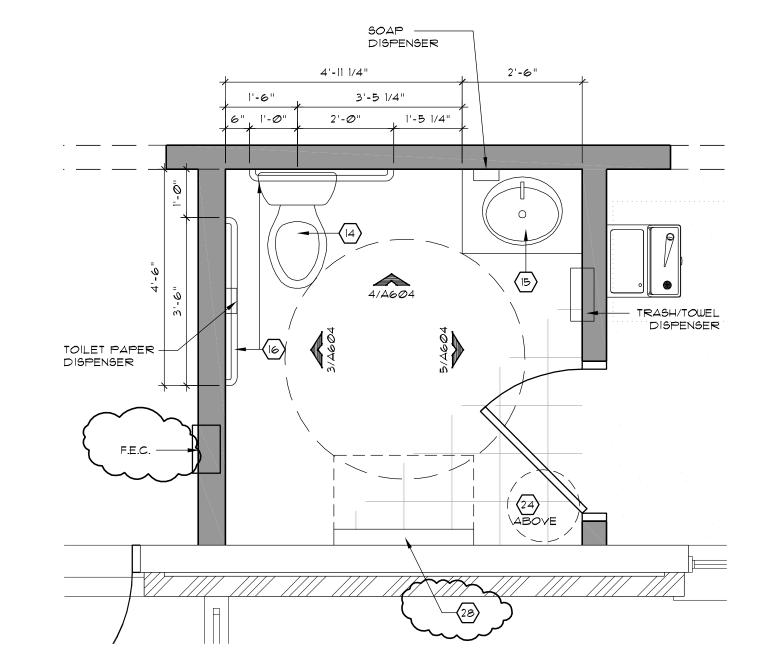
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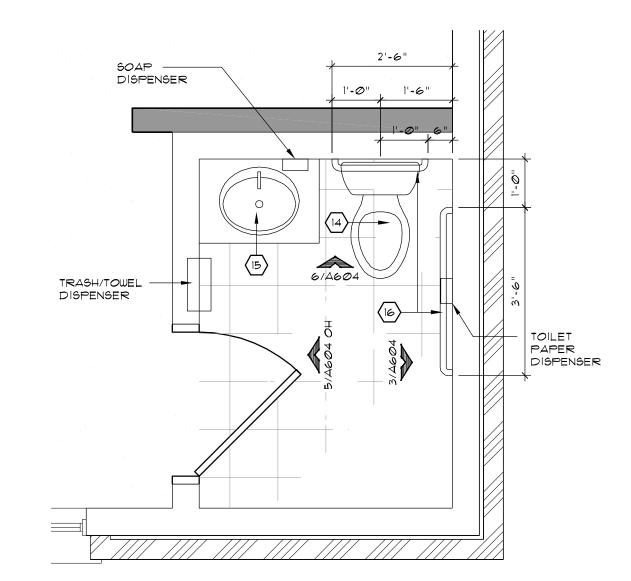
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FIRST FLOOR LEVEL AIOI SCALE: 1/4"=1'-0"









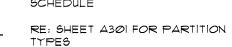


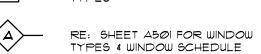


EXISTING EXTERIOR SANDSTONE MASONRY WALL



RE: SHEET A502 FOR DOOR SCHEDULE





GENERAL NOTES

ALL DIMENSIONS ARE TO NEW OR EXISTING FINISH FACE

- CONTRACTOR SHALL REMOVE AND DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION.
- ALL FIRE EXTINGUISHERS SHALL COMPLY WITH THE REQUIREMENTS OF THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT AND NFPA 10. PROVIDE 10 LB FIRE EXTINGUISHERS IN SEMI-RECESSED CABINETS UNLESS CONDITIONS OR CODE OFFICIAL REQUIRE DIFFERENT. FINAL LAYOUT AND QUANTITY TO BE APPROVED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT.

PRIOR TO BID. RE: NEW CONSTRUCTION.

ARCHITECT/OWNER APPROVAL.

REMOVE ALL EXISTING UTILITIES, CONDUIT, PIPING, BOXES, PANELS, METERS, ETC. FROM EXTERIOR OF BUILDING -RELOCATE TO NEW UNDERGROUND SERVICES - NEW LOCATIONS SUBJECT TO ARCHITECT/OWNER APPROVAL

NO VISIBLE VENTS OR WALL PENETRATIONS WITHOUT

- PROVIDE POSITIVE SLOPE AWAY FROM BUILDING AND OTHER STRUCTURES.
- CONTRACTOR TO PROVIDE FOR EROSION CONTROL OF SITE THROUGHOUT CONSTRUCTION.
- NEW SEALER ON ALL EXTERIOR CONC. FINISH TBD BY ARCH/OWNER IN FIELD.
- REPAIR & REPLACE ANY DAMAGED OR DETERIORATED GYP BOARD WALL SURFACE ON INTERIOR.

KEYNOTE LEGEND

- CLEAN, REPAIR & PAINT EXTERIOR WOOD TRIM -INCLUDING BUT NOT LIMITED TO SOFFITS, FASCIA & WINDOW TRIM - REMOVE ALL LOOSE OR DETERIORATED PAINT - PRIME AND PAINT - COLOR TBD.
- NEW HANDRAIL & GUARD RAIL AT STAIRS & RAMP PRIMED & PAINTED - COLOR TBD. RE: A411.
- NEW CONC SLAB AT LOCATION OF TRENCHING.
- REPLACE AREAS OF DETERIORATED & DAMAGED BOARD & BATTEN EXTERIOR CLADDING, CONTRACTOR TO FIELD VERIFY CONDITION OF UNDERLYING VAPOR BARRIER, SHEATHING AND FRAMING.
- EXPOSED CONCRETE FLOOR REMOVE ALL EXISTING FINISHES, ADHESIVES & FASTENERS. PROVIDE ALT. TO ACID WASH AND SEAL CONCRETE.
- NEW WOOD FLOOR FRAMING AND 1-1/8" CDX PLYWOOD SUB-FLOOR FLUSH WITH CONCRETE FLOOR.
- EXISTING WINDOWS REPAIR DAMAGED OR DETERIORATED FRAMING AND TRIM - PRIME & PAINT COLOR TBD.
- REMOVE AND RELOCATE EXISTING RETURN AIR GRILL
- 9. EXISTING GYP BOARD WALL PREP FOR PRIME & PAINT.
- 10. EXISTING HANDRAILS, RAMP, TREADS & RISERS PROTECT DURING CONST PRIME & PAINT RAILS COLOR TO BE DETERMINED.
- NEW CONCRETE RAMP AND STAIRS, RE: A411 RAMP SLOPE 1:12 MAX.
- 12. EXISTING CONCRETE SIDEWALK TO REMAIN.
- 13. NEW CONCRETE SIDEWALK/ CURB RAMP,

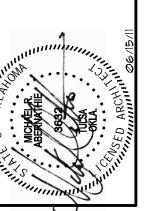
14. NEW TOILET. 15. NEW LAVATORY & PLASTIC LAMINATE COUNTERTOP. 6. NEW ACCESSIBLE GRAB BARS.

- REPAIR PENETRATIONS AT LOCATION OF DEMOLISHED EXTERIOR SIGNAGE..
- 18. RELOCATED MECHANICAL UNIT, RE: MECH.
- 19. ELECTRICAL PANEL 4 NEW UNDERGROUND SERVICE, RE:
- 20. RELOCATED GAS METER NEW SERVICE FINAL LOCATION TO BE DETERMINED BY OWNER. 21. NEW PREFINISHED GUTTER, DOWNSPOUT - COLOR TBD -
- PROVIDE CONCRETE SPLASH PADS @ GRADE. 22. EXISTING ASPHALT SHINGLE ROOF, UNDERLAYMENT, EAVE, VALLEY, RIDGE, EDGE PROTECTION &
- ASSOCIATED METAL FLASHING. 23. NEW STONE MASONRY WALL. STONE TO BE FROM EXISTING STONE SUPPLIED BY THE OWNER. TRANSPORTATION TO & FROM STORAGE SHALL BE AT
- WITH THE OWNER PRIOR TO CONSTRUCTION. 24. PROPOSED RELOCATION OF EXISTING HOTWATER TANK CONTRACTOR TO PROVIDE FOR ALL CONNECTIONS &

THE SOLE COST OF THE CONTRACTOR - COORDINATE

- ACCESSORIES. 25. NEW NFPA 13 FIRE RISER & SUPPRESSION SYSTEM CONTRACTOR TO COORDINATE ENTIRE EXTENT OF NEW CLOSET LAYOUT PRIOR TO BID. RELOCATION OF EXISTING & OR NEW SERVICE SHOULD BE INCLUDED. RELOCATION OF EXISTING MECHANICAL/ELECTRICAL/ PLUMBING TO PROVIDE FOR NEW RISER AND EQUIPMENT SHOULD BE INCLUDED.
- 26. LOCATION OF EXISTING TELEPHONE DEMARK REUSE 4 RETROFIT TO ACCOMMODATE ANY NEW SERVICE REQUIREMENT - COORDINATE WITH THE OWNER.
- 27. NEW "SLAT WALL"
- 28. BABY CHANGING STATION

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