

Tahlequah, OK

ATTACHMENT A FLOOR PLAN FOR INFORMATION ONLY

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C101	SITE SURVEY
D101	BASEMENT & FIRST FLOOR DEMO PLANS
A101	BASEMENT & FIRST FLOOR PLANS
A111	ROOF PLAN
A201	EXISTING ELEVATIONS
A202	ELEVATIONS
A301	WALL SECTION & DETAILS
A501	WINDOW DETAILS & SCHEDULES
A502	DOOR DETAILS & SCHEDULES

LANDSCAPING

1. LOCATION
A. LEGAL DESCRIPTION:

THE NORTHERLY 150 FEET OF LOT 1, IN BLOCK
95, IN THE CITY OF TAHLEQUAH, OKLAHOMA,
ACCORDING TO THE OFFICIAL PLAT THEREOF,
KNOWN AS THE OLD CHEROKEE NATION
PRISON.

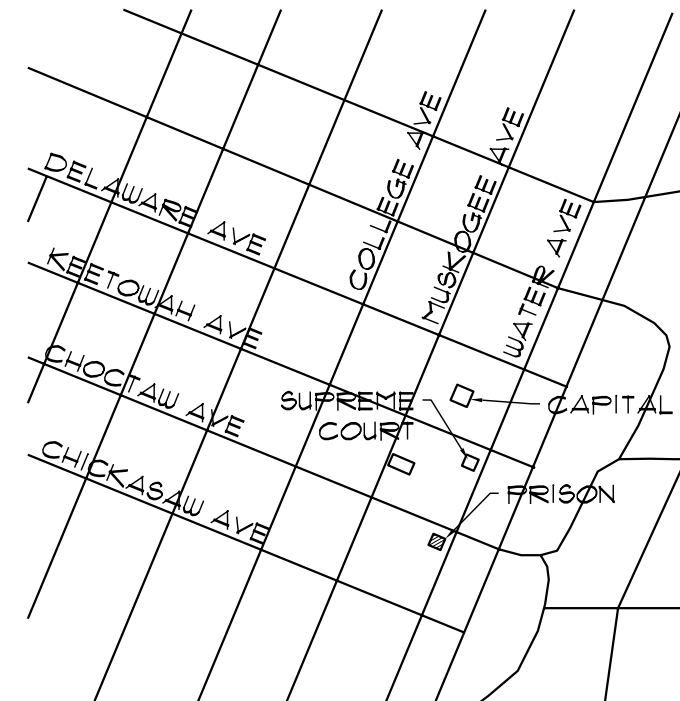
2. SITE DATA

A. TOTAL SITE AREA .327 ACRES
(14250 SQFT)

3. BUILDING DATA

BASEMENT LEVEL	1,697 S.F.
FIRST LEVEL	1,660 S.F.

TOTAL GROSS SQUARE FOOTAGE	3,357 S.F.
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2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL PLUMBING CODE
2005 NATIONAL ELECTRIC CODE
2006 INTERNATIONAL FIRE CODE

OCCUPANCY: A-3

CONSTRUCTION TYPE: TYPE V-B
FULLY SPRINKLERED NFPA 13 SYSTEM

HEIGHT/AREA LIMITATIONS: ALLOWABLE:
BASE (PER TABLE 503) -
1 STORIES (40 FEET) & 6,000 SF.

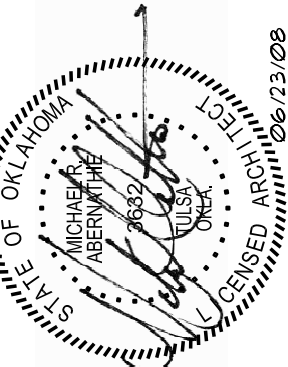
WITH SPRINKLER INCREASE (PER 504.2 & 506.3) -
2 STORIES (60 FEET) & 24,000 SF.

FIRE RESISTIVE REQUIREMENTS -

STRUCTURAL FRAME	0 HR	TABLE 601
EXTERIOR BEARING WALLS	0 HR	TABLE 601
INTERIOR BEARING WALLS	0 HR	TABLE 601
EXTERIOR NON BEARING WALLS	0 HR	TABLE 601
INTERIOR NON BEARING WALLS	0 HR	TABLE 601
FLOOR CONSTRUCTION	0 HR	TABLE 601
ROOF CONSTRUCTION	0 HR	TABLE 601
CORRIDORS	0 HR	TABLE 106.1

1. ALL EXTERIOR AND INTERIOR RESTORATION, AND NEW CONSTRUCTION IN HISTORICALLY CONTRIBUTING AREAS, MUST CONFORM WITH THE SECRETARY OF INTERIORS STANDARDS FOR REHABILITATION, AS PUBLISHED BY THE U.S. DEPARTMENT OF INTERIOR, NATIONAL PARK SERVICE.
2. THESE DOCUMENTS INDICATE THE INTENT OF THE PHASE ONE IMPROVEMENTS/REPAIRS AND MAY REQUIRE ADDITIONAL INTERPRETATION OR DETAIL AS CONSTRUCTION CONDITIONS OCCUR. DIRECT ALL QUESTIONS TO THE OWNER OR ARCHITECT PRIOR TO INSTALLATION.
3. THE SQUARE FOOTAGE IN THESE DOCUMENTS, DEFINED AS TOTAL AREA, WAS CALCULATED FROM THE EXTERIOR FACE OF WALLS AT EACH LEVEL.
4. ALL WORK SHALL MEET ALL GOVERNING CODE JURISDICTIONS.
5. VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL COORDINATE ALL USE OF THE SITE WITH THE OWNER PRIOR TO CONSTRUCTION.
7. ALL FIRE RATED ASSEMBLIES SHOWN IN THESE DOCUMENTS SHALL BE CONTINUOUS FROM THE TOP OF THE FLOOR ASSEMBLY BELOW TO THE UNDERSIDE OF THE FIRE RATE ASSEMBLY ABOVE OR TO DECK. PROVIDE FIRESTOPPING MATERIAL AS REQUIRED AT ALL VOIDS AND CAVITIES.
8. REFER TO TECHNICAL SPECIFICATION, CHEROKEE NATION ENTERPRISES - REQUEST FOR PROPOSAL, FOR ADDITIONAL BID INFORMATION.
9. REFER TO CIVIL/LANDSCAPE DRAWINGS FOR SITE DETAILS AND REQUIREMENTS.
10. FINAL LOCATIONS OF FIRE EXTINGUISHERS SHALL BE DETERMINED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT.
11. PROJECT SIGN:
CONTRACTOR SHALL PROVIDE 8'-0" X 6'-0" EXTERIOR WEATHER PROOF PROJECT SIGN THAT LISTS THE NAME OF THE PROJECT, OWNER, ARCHITECT, CONTRACTOR AND FUNDING SOURCES. SUBMIT COPY TO OWNER FOR APPROVAL PRIOR TO FABRICATION.
12. CONTRACTOR TO COORDINATE TESTING & PROVIDE FOR TREATMENT OF ALL CONTAMINANTS, INCLUDING BUT NOT LIMITED TO ASBESTOS, MOLD, TERMITES, SOIL & LEAD.
13. CONTRACTOR TO PROVIDE 24 HR NOTICE TO OWNER FOR COORDINATION OF ALL TESTING.

1. THIS PROJECT IS GOVERNED BY THE REQUIREMENTS ESTABLISHED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT. ALL PROPOSED MODIFICATIONS TO THESE DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT PRIOR TO COMMENCEMENT OF THE WORK.

[illegible]

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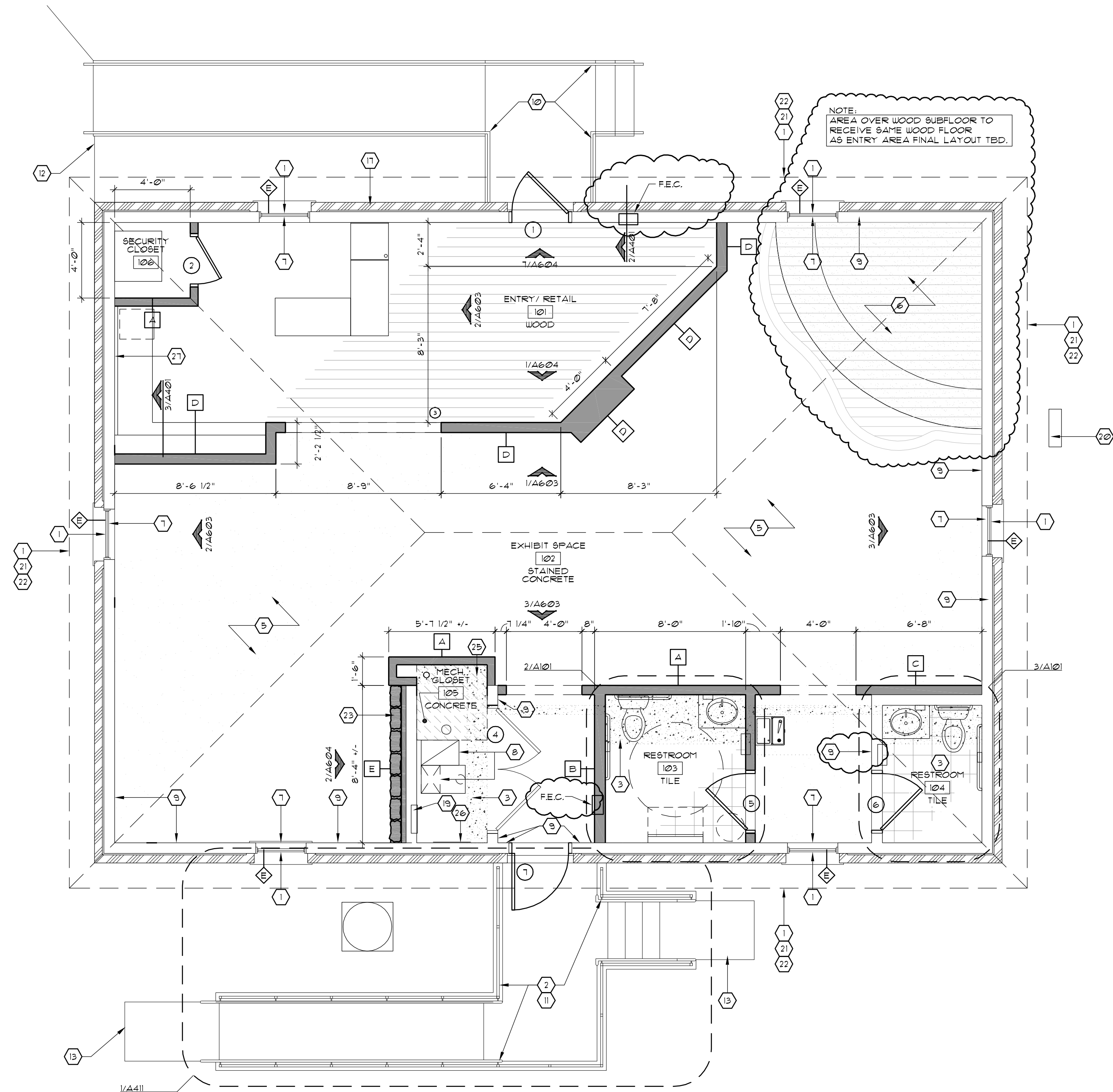
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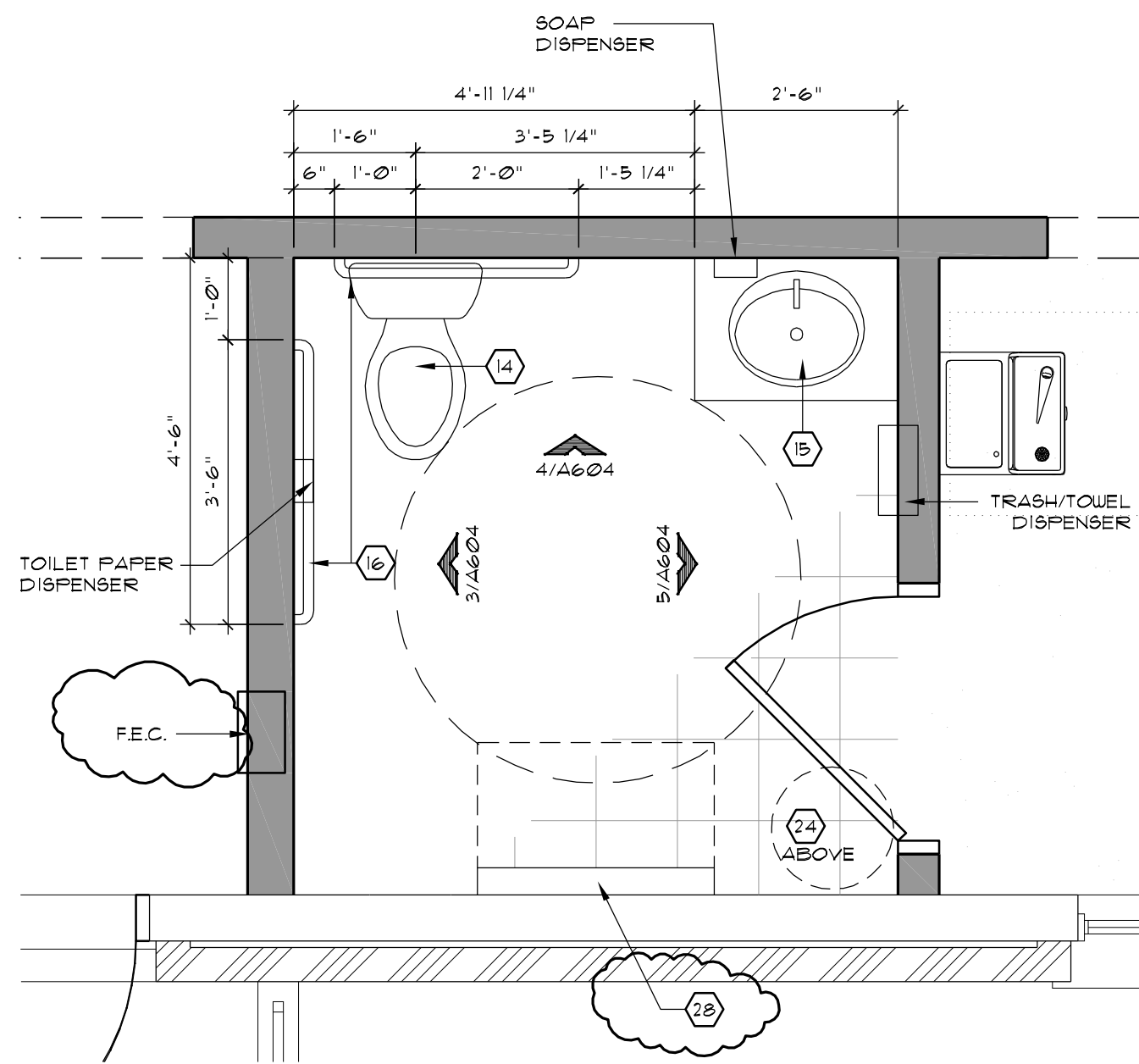
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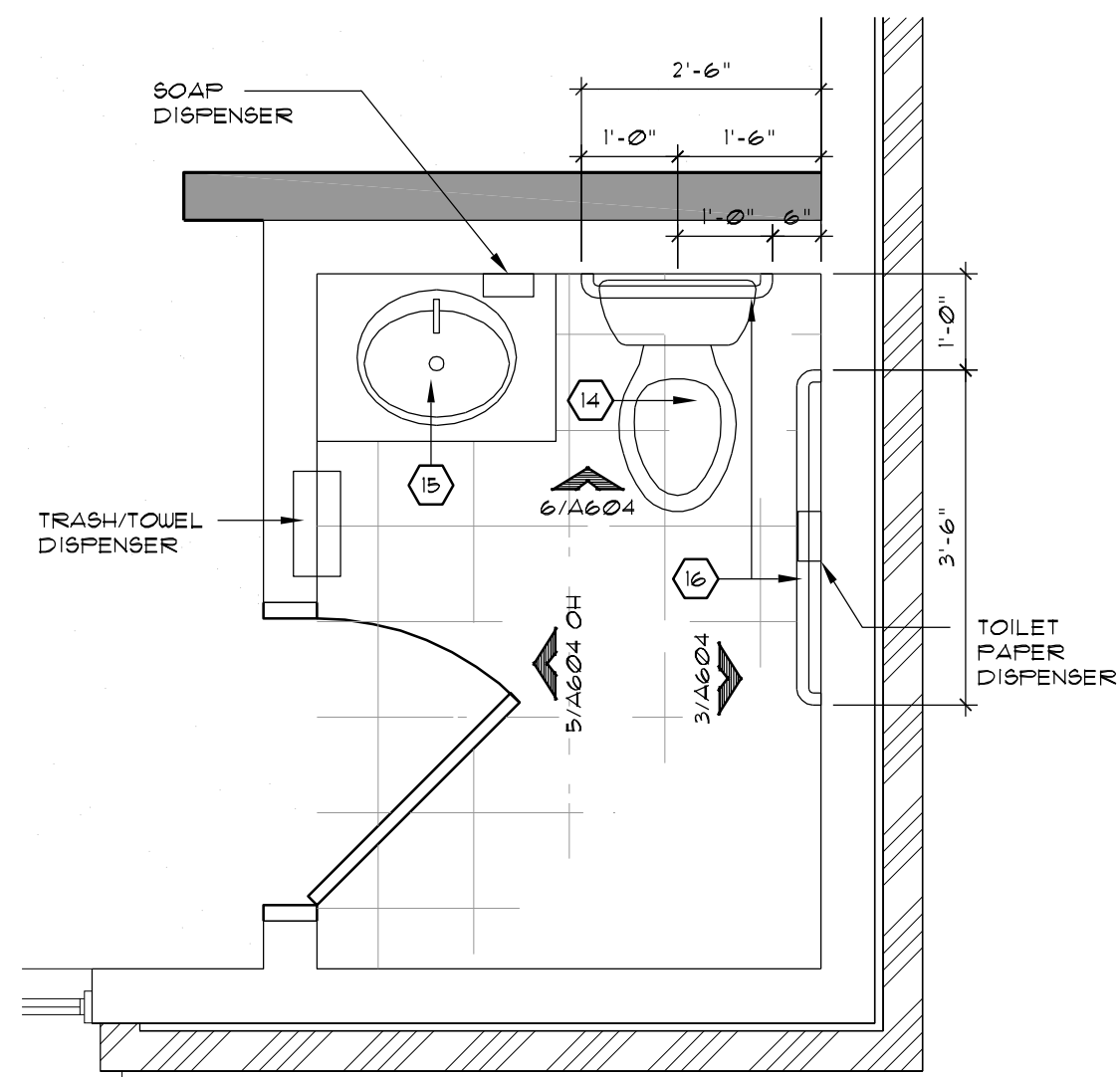
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR LEVEL
A101 SCALE: 1/4"=1'-0"



2 ENLARGED RESTROOM PLAN
A102 SCALE: 1/2"=1'-0" (NEW)
NORTH



3 ENLARGED RESTROOM PLAN
A103 SCALE: 1/2"=1'-0" (EXISTING)
NORTH

LEGEND	
	EXISTING EXTERIOR SANDSTONE MASONRY WALL
	EXISTING INTERIOR PARTITION
	NEW INTERIOR PARTITION
	RE: SHEET A502 FOR DOOR SCHEDULE
	RE: SHEET A301 FOR PARTITION TYPES
	RE: SHEET A501 FOR WINDOW TYPES & WINDOW SCHEDULE
GENERAL NOTES	
1. ALL DIMENSIONS ARE TO NEW OR EXISTING FINISH FACE OF WALL.	
2. CONTRACTOR SHALL REMOVE AND DELIVER TO OWNER FOR STORAGE ALL ITEMS DEEMED TO BE REUSED IN NEW CONSTRUCTION.	
3. ALL FIRE EXTINGUISHERS SHALL COMPLY WITH THE REQUIREMENTS OF THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT AND NFPA 10. PROVIDE 10 LB FIRE EXTINGUISHERS IN SEMI-RECESSED CABINETS UNLESS CONDITIONS OR CODE OFFICIAL REQUIRE DIFFERENT. FINAL LAYOUT AND QUANTITY TO BE APPROVED BY THE OFFICE OF CHEROKEE NATION RISK MANAGEMENT.	
4. NO VISIBLE VENTS OR WALL PENETRATIONS WITHOUT ARCHITECT/OWNER APPROVAL.	
5. REMOVE ALL EXISTING UTILITIES, CONDUIT, PIPING, BOXES, PANELS, METERS, ETC. FROM EXTERIOR OF BUILDING - RELOCATE TO NEW UNDERGROUND SERVICES - NEW LOCATIONS SUBJECT TO ARCHITECT/OWNER APPROVAL PRIOR TO BID. RE: NEW CONSTRUCTION.	
6. PROVIDE POSITIVE SLOPE AWAY FROM BUILDING AND OTHER STRUCTURES.	
7. CONTRACTOR TO PROVIDE FOR EROSION CONTROL OF SITE THROUGHOUT CONSTRUCTION.	
8. NEW SEALER ON ALL EXTERIOR CONC. - FINISH TBD BY ARCH/OWNER IN FIELD.	
9. REPAIR & REPLACE ANY DAMAGED OR DETERIORATED GYP BOARD WALL SURFACE ON INTERIOR.	
KEYNOTE LEGEND	
1. CLEAN, REPAIR & PAINT EXTERIOR WOOD TRIM - INCLUDING BUT NOT LIMITED TO SOFFITS, FASCIA & WINDOW TRIM - REMOVE ALL LOOSE OR DETERIORATED PAINT - PRIME AND PAINT - COLOR TBD.	
2. NEW HANDRAIL & GUARD RAIL AT STAIRS & RAMP - PRIMED & PAINTED - COLOR TBD. RE: A411.	
3. NEW CONC SLAB AT LOCATION OF TRENCHING.	
4. REPLACE AREAS OF DETERIORATED & DAMAGED BOARD & BATTEN EXTERIOR CLADDING. CONTRACTOR TO FIELD VERIFY CONDITION OF UNDERLYING VAPOR BARRIER, SHEATHING AND FRAMING.	
5. EXPOSED CONCRETE FLOOR - REMOVE ALL EXISTING FINISHES, ADHESIVES & FASTENERS. PROVIDE ALT. TO ACID WASH AND SEAL CONCRETE.	
6. NEW WOOD FLOOR FRAMING AND 1-1/8" CDX PLYWOOD SUB-FLOOR FLUSH WITH CONCRETE FLOOR.	
7. EXISTING WINDOWS - REPAIR DAMAGED OR DETERIORATED FRAMING AND TRIM - PRIME & PAINT - COLOR TBD.	
8. REMOVE AND RELOCATE EXISTING RETURN AIR GRILL & DUCT.	
9. EXISTING GYP BOARD WALL - PREP FOR PRIME & PAINT.	
10. EXISTING HANDRAILS, RAMP TREADS & RISERS - PROTECT DURING CONST - PRIME & PAINT RAILS - COLOR TO BE DETERMINED.	
11. NEW CONCRETE RAMP AND STAIRS, RE: A411 - RAMP SLOPE 1:12 MAX.	
12. EXISTING CONCRETE SIDEWALK TO REMAIN.	
13. NEW CONCRETE SIDEWALK/ CURB RAMP.	
14. NEW TOILET.	
15. NEW LAVATORY & PLASTIC LAMINATE COUNTERTOP.	
16. NEW ACCESSIBLE GRAB BARS.	
17. REPAIR PENETRATIONS AT LOCATION OF DEMOLISHED EXTERIOR SIGNAGE.	
18. RELOCATED MECHANICAL UNIT, RE: MECH.	
19. ELECTRICAL PANEL & NEW UNDERGROUND SERVICE, RE: ELEC.	
20. RELOCATED GAS METER - NEW SERVICE - FINAL LOCATION TO BE DETERMINED BY OWNER.	
21. NEW PREFINISHED GUTTER DOWNSPOUT - COLOR TBD. PROVIDE CONCRETE SPLASH PADS @ GRADE.	
22. EXISTING ASPHALT SHINGLE ROOF, UNDERLAYMENT, EAVE, VALLEY, RIDGE, EDGE PROTECTION & ASSOCIATED METAL FLASHING.	
23. NEW STONE MASONRY WALL. STONE TO BE FROM EXISTING STONE SUPPLIED BY THE OWNER. TRANSPORTATION TO & FROM STORAGE SHALL BE AT THE SOLE COST OF THE CONTRACTOR - COORDINATE WITH THE OWNER PRIOR TO CONSTRUCTION.	
24. PROPOSED RELOCATION OF EXISTING HOTWATER TANK - CONTRACTOR TO PROVIDE FOR ALL CONNECTIONS & ACCESSORIES.	
25. NEW NFPA 13 FIRE RISER & SUPPRESSION SYSTEM - CONTRACTOR TO COORDINATE ENTIRE EXTENT OF NEW CLOSET LAYOUT PRIOR TO BID. RELOCATION OF EXISTING & OR NEW SERVICE SHOULD BE INCLUDED. RELOCATION OF EXISTING MECHANICAL/ELECTRICAL/ PLUMBING TO PROVIDE FOR NEW RISER AND EQUIPMENT SHOULD BE INCLUDED.	
26. LOCATION OF EXISTING TELEPHONE DEMARK - REUSE & RETROFIT TO ACCOMMODATE ANY NEW SERVICE REQUIREMENT - COORDINATE WITH THE OWNER.	
27. NEW "SLAT WALL"	
28. BABY CHANGING STATION	

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STATE OF OKLAHOMA
JULY 16 2020
REGISTERED ARCHITECT
NO. 10000
JULY 16 2020

Cherokee Nation Enterprises/ Culture & Tourism

National Prison

Tahlequah, OK

DRAWN BY: KPG
CHECKED BY: MOS
ISSUED: 6/3/21

REVISIONS
ADD # 6/15/2021

Floor Plan

A101