

CHEROKEE NATION

CULTURAL COMMUNITY BUILDING

CONSTRUCTION DOCUMENTS

6/28/2024



blue river
ARCHITECTS
A Native American Owned Firm



**CHEROKEE CULTURAL
COMMUNITY BUILDING**
700 E. Durham Ave.
Dewey, Oklahoma 74029
CS
COVER SHEET



BLUE RIVER PROJECT NUMBER:
20210121.53

ISSUE DATE:
6/28/2024

ISSUE:
**CONSTRUCTION
DOCUMENTS**

OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
COVER SHEET

SHEET NUMBER:
CS

PROJECT CONTACTS

OWNER:

CHEROKEE NATION
W.W. KEELER TRIBAL COMPLEX
1615 S MUSKOGEE AVE
TAHLEQUAH, OKLAHOMA 74464
P(918) 453-5000

ARCHITECT:

BLUE RIVER ARCHITECTS, LLC
320 SOUTH BOSTON AVENUE
SUITE 103
TULSA, OKLAHOMA 74103
P(918) 811-3036

CIVIL CONSULTANT:

WALLACE DESIGN COLLECTIVE
123 N. MLK, JR BLVD
TULSA, OKLAHOMA 74103
P(918) 504-5050

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ARCHITECTURAL

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A01 FLOOR PLAN

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GENERAL DEFINITIONS

ALIGN	TO ACCURATELY LOCATE FACE BASED ON ADJACENT ITEMS OR CONSTRUCTION.
CLEAR	MINIMUM DIMENSION BETWEEN FINISHED CONDITION, SHALL BE TREATED AS A PRIORITY TO HOLD BEFORE OTHER DIMENSIONS.
MAXIMUM	THE CONDITION MAY NOT VARY TO A DIMENSION GREATER THAN THAT SHOWN WITHOUT THE APPROVAL OF THE ARCHITECT.
MINIMUM	THE CONDITION MAY NOT VARY TO A DIMENSION SMALLER THAN THAT SHOWN WITHOUT THE APPROVAL OF THE ARCHITECT.
SIMILAR	NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES. DETAILS AND NOTES ARE TYPICAL. SIMILAR DETAILS AND NOTES APPLY IN SIMILAR CONDITIONS. THE WORD "SIMILAR" MEANS THAT ITEMS IN EACH CASE ARE TO BE SEPARATELY WORKED OUT TO SUIT CONDITIONS IN A MANNER LIKE OR SIMILAR TO THE EXAMPLE REFERRED TO AND DOES NOT MEAN IDENTICAL.
TYPICAL	THE CONDITION APPLIES TO THE SAME CONDITIONS THROUGHOUT UNLESS NOTED OTHERWISE.

SYMBOLS LEGEND

VIEW TITLE	
VIEW TITLE WITH REFERENCE	
BUILDING SECTION AND REFERENCE	
BUILDING ELEVATION	
WALL SECTION SYMBOL	
ENLARGED FLOOR PLAN OR PLAN DETAIL REFERENCE	
MATCHLINE & REFERENCES	
INTERIOR ELEVATION	
ROOM NAME ROOM NUMBER	
AREA NAME AREA SQUARE FEET AREA OCCUPANCY	
LEVEL NAME RELATIVE ELEVATION	
PARTITION TYPE SYMBOL	
DOOR TAG & RATING	
WINDOW / STOREFRONT TAG	
MATERIAL TAG	
EQUIPMENT TAG	
GRID BUBBLE	
PLAN NORTH ARROW	
GRAPHIC SCALE	
ELEVATION OR HEIGHT SYMBOL	
FLOORING TRANSITION	
CENTERLINE	
OPEN TO STRUCTURE	
ALIGN FINISHES	
REVISION EXTENTS & TAG	

GENERAL PROJECT NOTES

- GENERAL NOTES ARE TYPICAL FOR AREAS OF WORK.
- REFER TO COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR ALL PROJECT NOTES.
- THE CONTRACT DOCUMENTS IN THEIR ENTIRETY ARE THE RESPONSIBILITY OF ALL TRADES. WHERE REQUIREMENTS ARE SHOWN IN ONE SECTION OF THE SPECIFICATIONS OR DRAWINGS BUT NOT ANOTHER, THE CONTRACTOR IS NOT RELIEVED FROM PROVIDING COMPLETELY FINISHED, COORDINATED AND PROPERLY FUNCTIONING SYSTEMS.
- ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR THE PROPER EXECUTION, INSTALLATION, OR PERFORMANCE OF THE WORK, SHALL BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT AND COORDINATION OF DIMENSIONS IN THE FIELD.
- THE PRESENCE OF THE ARCHITECT OR AN ARCHITECT'S REPRESENTATIVE ON THE JOB SITE DOES NOT IMPLY CONCURRENCE OR APPROVAL OF THE WORK. THE CONTRACTOR SHALL CALL SPECIFIC ITEMS TO THE ATTENTION OF THE ARCHITECT IF THE CONTRACTOR WISHES TO OBTAIN THE ARCHITECT'S REVIEW.
- IF DISCREPANCIES OCCUR BETWEEN DRAWINGS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF CRITICAL DIMENSIONS DO NOT APPEAR ON CONSTRUCTION DOCUMENTS, OR CONFLICT WITH DIMENSIONS ON OTHER DETAILS, NOTIFY THE ARCHITECT.
- VERIFY EQUIPMENT ROUGH-IN DIMENSIONS WITH MANUFACTURER FOR EQUIPMENT THAT IS EXISTING, REUSED OR FURNISHED BY OWNER.
- ALL PENETRATIONS THROUGH FLOORS, WALLS AND RATED ASSEMBLIES AS WELL AS ALONG SLAB PERIMETERS AND SEPARATION WALL PERIMETERS, SHALL BE SEALED AND PROTECTED WITH ULL APPROVED ASSEMBLIES AND / OR PROTECTIVE DEVICES HAVING THE SAME OR GREATER TESTED RATING AS THAT REQUIRED FOR THE ASSEMBLY BEING PENETRATED. ALL PENETRATIONS TO BE PROTECTED TO MAINTAIN FIRE RATED ASSEMBLY INTEGRITY.
- PROVIDE ELECTROLYTIC PROTECTION / ISOLATION BETWEEN ALL DISSIMILAR METALS, WHERE THEY OCCUR TO PREVENT ELECTROLYTIC REACTION AND / OR CORROSION.
- PROVIDE ADEQUATE BLOCKING, BACKING OR STRUCTURAL SUPPORT AS REQUIRED TO PROPERLY INSTALL ALL MOUNTED ASSEMBLIES, INCLUDING ALL ATTACHED EQUIPMENT (OWNER AND CONTRACTOR FURNISHED ITEMS), PLUMBING FIXTURES, MILLWORK, AND CASEWORK.
- PROVIDE ALL TEMPORARY BRACING AND SHORING AS REQUIRED FOR CONTRACT WORK.
- PROTECT ALL NEWLY INSTALLED MATERIALS AND FINISHES UNTIL WORK IS FORMALLY ACCEPTED BY THE ARCHITECT OR THE OWNER'S REPRESENTATIVE AND TRANSFERRED TO THE OWNER.
- THE CONSTRUCTION SITE IS TO BE KEPT CLEAN AND FREE OF DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PHASING, SECURING, HANDLING, TRANSPORTING AND DISPOSING OF DEBRIS.
- COORDINATE STAGING AND STORAGE AREAS, AND LOCATIONS OF TEMPORARY FACILITIES WITH OWNER.
- COORDINATE LOCATIONS OF CONSTRUCTION DUMPSTER ON SITE AND ACCESS TO BUILDING WITH OWNER.
- PROVIDE DUST PROTECTION OF THE AREA OUTSIDE OF CONSTRUCTION AND DEMOLITION LIMITS.
- PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION AS REQUIRED.
- LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. UTILITIES DISTURBED BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR REPAIR ACCORDING TO THE OWNER'S SPECIFICATIONS AND REQUIREMENTS AT NO COST TO THE OWNER.
- SUBMIT A REQUEST TO INTERRUPT ANY SERVICES TO OWNER, IN WRITING, 36 HOURS IN ADVANCE OF PROPOSED INTERRUPTION. REQUEST SHALL STATE REASON, DATE, EXACT TIME OF, AND APPROXIMATE DURATION OF SUCH INTERRUPTION.
- VERIFY THE EXISTENCE AND LOCATION OF UTILITIES PRIOR TO STARTING WORK.
- MAINTAIN UTILITY SERVICES AND PROTECT THEM AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES - KNOWN AND UNKNOWN (OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO THEIR ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL SEEK ASSISTANCE OF LOCAL UTILITIES IN LOCATING THE UTILITIES PRIOR TO PERFORMING OPERATIONS IN ANY AREA.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE OWNER'S SECURITY REQUIREMENTS FOR THE AREA OF CONSTRUCTION.
- INSTALL ALL NEW MATERIALS AND EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS.
- ALL NEW BUILDING MATERIALS AND PRODUCTS SHALL NOT CONTAIN LEAD, CADMIUM, OR ASBESTOS.
- KEYNOTES WHERE INDICATED ARE FOR REFERENCE ONLY AND MAY NOT BE AT ALL LOCATIONS THAT CORRESPOND TO THAT NOTE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITY OF MATERIALS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION.
- REPAIR ANY DAMAGE DUE TO CONSTRUCTION TRAFFIC OR OPERATIONS.
 - RETURN ALL DISTURBED LANDSCAPE AREAS DUE TO CONSTRUCTION ACTIVITY TO ORIGINAL CONDITION.
 - FINAL GRADE AND SO2 AREAS DISTURBED BY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY APPROVALS, PERMITS AND INSPECTION PAYING REQUIRED FEES AND POSTING ANY REQUIRED BONDS, PRIOR TO BEGINNING ANY DEMOLITION OR CONSTRUCTION.
- FINAL COLOR SELECTIONS TO BE MADE BY OWNER / ARCHITECT UPON RECEIPT OF ALL MATERIAL SUBMITTALS. REVIEW CANNOT BEGIN UNTIL ALL MATERIALS HAVE BEEN RECEIVED.
- FINISH GRADE TO SLOPE AWAY FROM BUILDING, TYPICAL GRADE TO FACILITATE DRAINAGE.
- THE LOCATION OF DUCTS, PIPE AND EQUIPMENT, AS SHOWN ON THE DRAWINGS, ARE DIAGRAMMATIC AND SCHEMATIC AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL OTHER TRADES BEFORE PERFORMING ANY WORK. LIGHT FIXTURE LOCATIONS SUPERSEDE HVAC DUCTWORK, GRILLES AND DIFFUSERS.
- CLEAN INTERIOR AND EXTERIOR OF ALL WINDOW GLAZING.
- PROVIDE NEW ESCUTCHEONS AT ALL PLUMBING PENETRATION AREAS AND FASTEN IN PLACE WITH JOINT SPACER.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS OR BETWEEN A DRAWING AND SPECIFICATION ITEM, THE DRAWING OR SPECIFICATION REQUIRING THE GREATER EXTENT, LARGER NUMBER, OR HIGHER QUALITY SHALL GOVERN. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING FOR RESOLUTION BEFORE PROCEEDING.
- COORDINATE ENVIRONMENTAL REMEDIATION REQUIREMENTS AND PROCEDURES WITH OWNER AND OWNER'S ENVIRONMENTAL CONSULTANT IF AND WHEN SITE CONDITIONS ARE PRESENT THAT REQUIRE ENVIRONMENTAL REMEDIATION. ARCHITECT'S CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO PROVIDE REMEDIATION OR SATISFY REMEDIATION REQUIREMENTS AND SHALL NOT BE USED AS SUCH.
- CONTRACTOR SHALL MAINTAIN A CURRENT RECORD SET OF ALL CONTRACT DOCUMENTS AND RETURNED SUBMITTALS ON SITE FOR THE DURATION OF THE PROJECT. ANY CHANGES MADE TO THE CONTRACT DOCUMENTS SHALL BE PROMPTLY INCORPORATED INTO THE CURRENT RECORD SET.
- WHEN IN DOUBT, SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT IN WRITING FOR ALL QUESTIONS, INCLUDING BUT NOT LIMITED TO CLARIFICATIONS, INTERPRETATIONS, OR WHERE FIELD CONDITIONS MAY IMPACT DESIGN INTENT, PRIOR TO PROCEEDING WITH THE WORK.



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CHEROKEE CULTURAL COMMUNITY BUILDING
700 E. Durham Ave.
Dewey, Oklahoma 74029
G01 PROJECT INFORMATION



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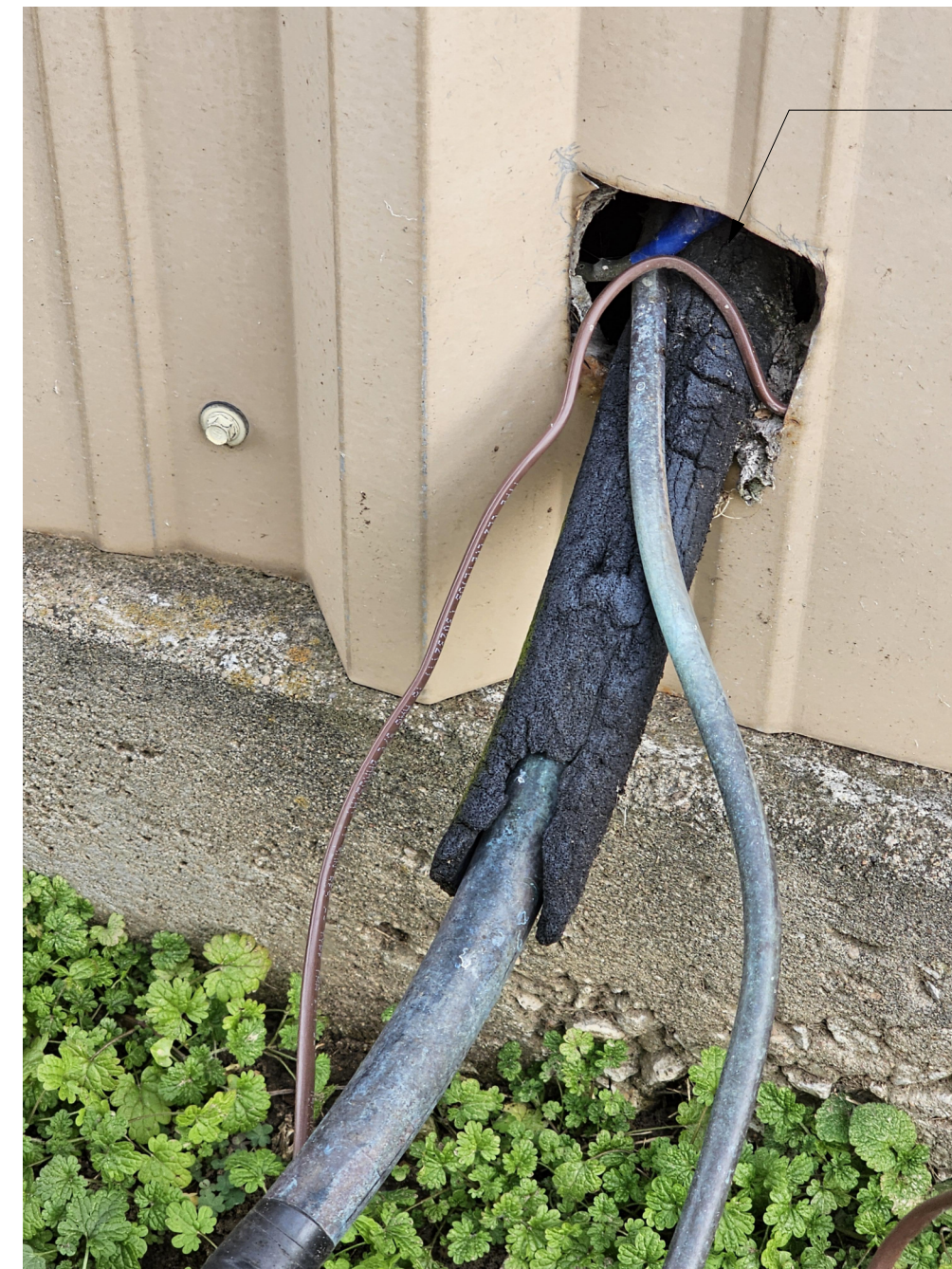
SHEET NAME:
PROJECT INFORMATION

SHEET NUMBER:
G01



WINDOWS TO RECEIVE NEW FLASHING, REFER TO WINDOW DETAILS

F REFERENCE PHOTO #4
1 1/2" = 1'-0"



ALL WALL PENETRATIONS TO RECEIVE NEW FLASHING/SEALANT

E REFERENCE PHOTO #3
1 1/2" = 1'-0"



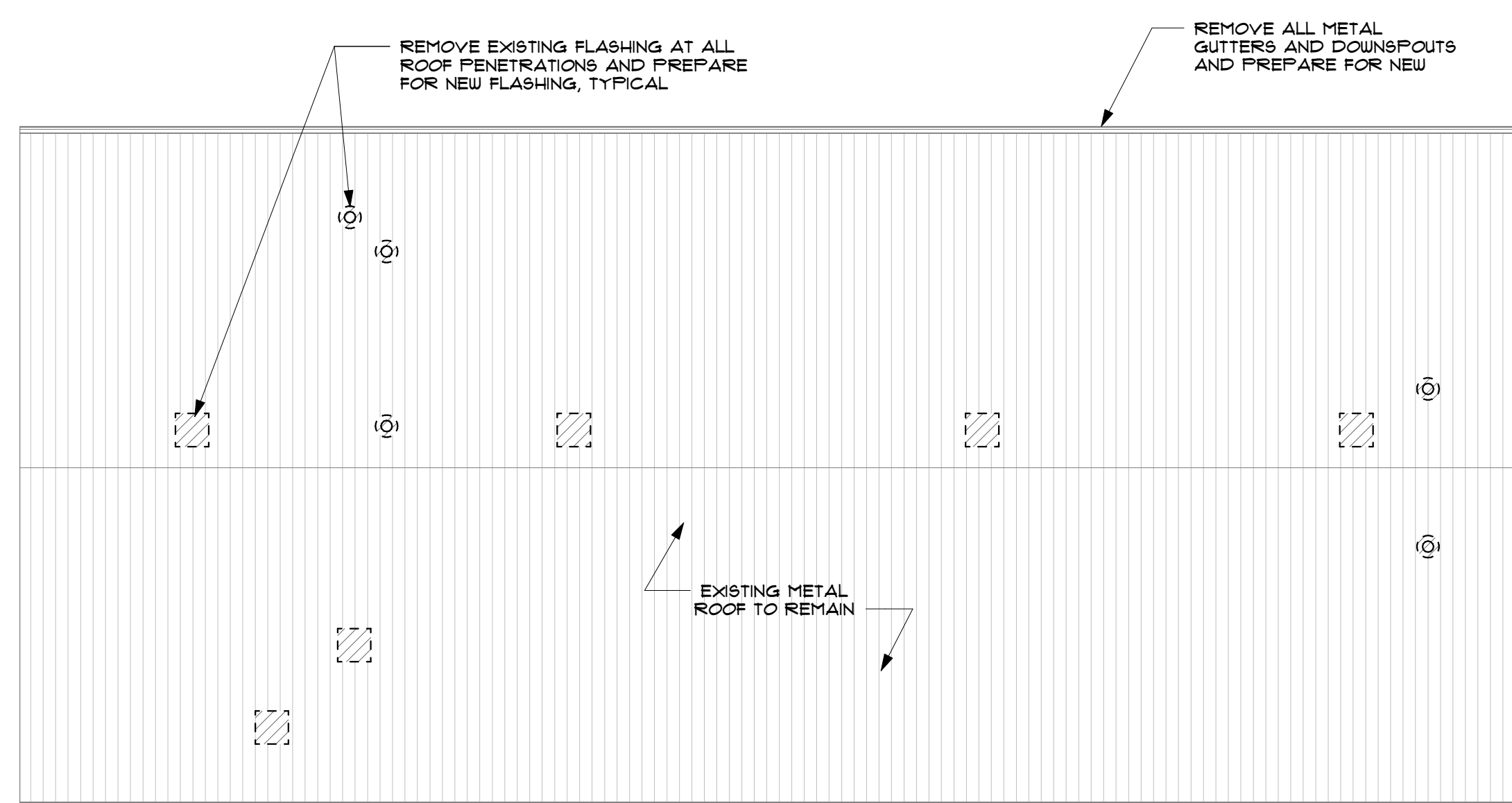
REMOVED EXISTING GUTTERS AND DOWN SPOUTS

D REFERENCE PHOTO #2
1 1/2" = 1'-0"

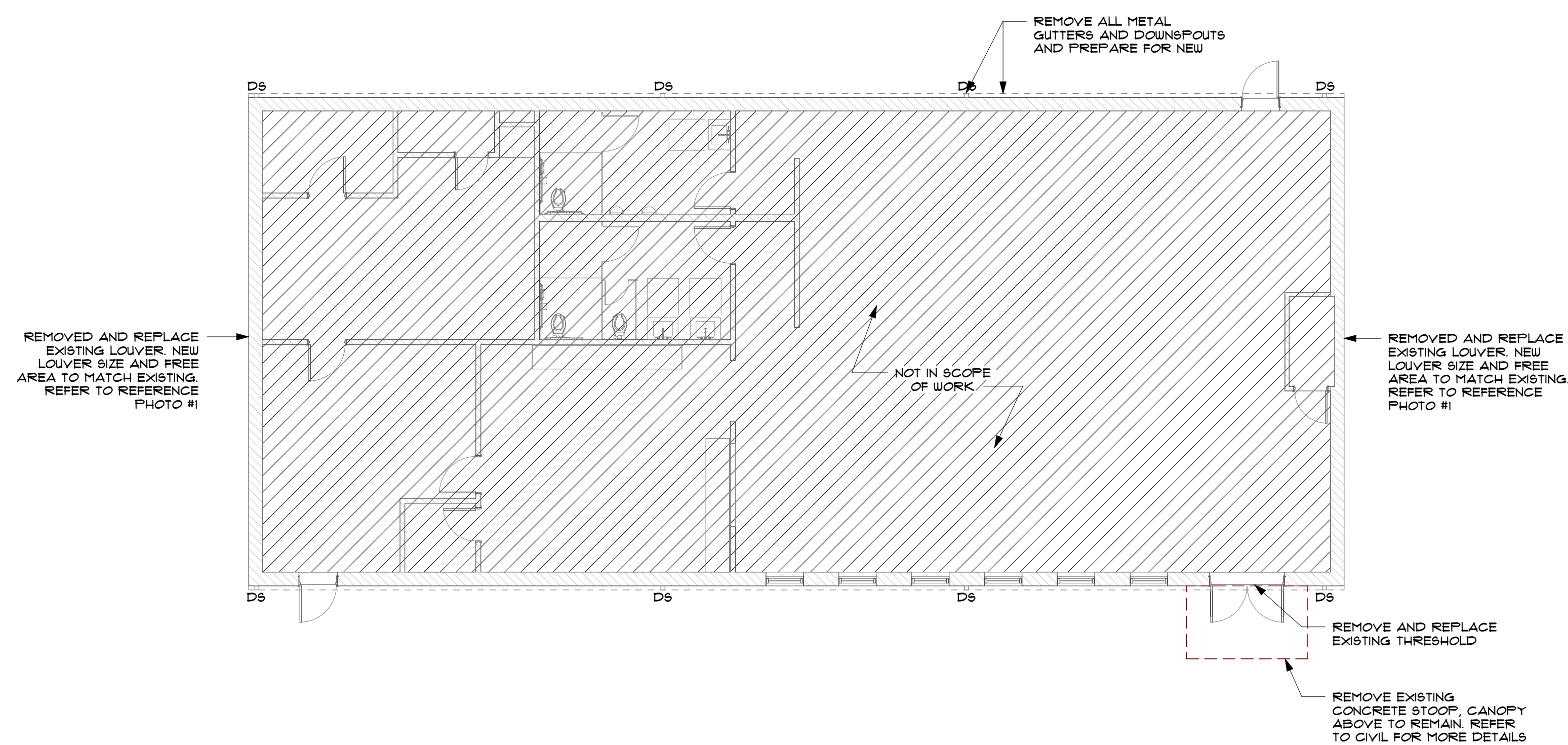
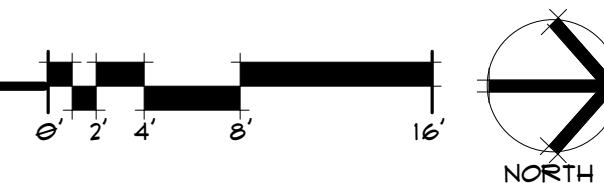


REMOVED AND REPLACE EXISTING LOUVERS

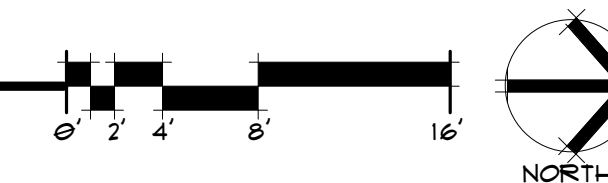
C REFERENCE PHOTO #1
1 1/2" = 1'-0"



B ROOF DEMOLITION PLAN
1/8" = 1'-0"



A DEMOLITION PLAN
1/8" = 1'-0"



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**CHEROKEE CULTURAL
COMMUNITY BUILDING**
700 E. Durham Ave.
Dewey, Oklahoma 74029
AD01
DEMOLITION PLAN



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SHEET NAME:
DEMOLITION PLAN

SHEET NUMBER:
AD01
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**CHEROKEE CULTURAL
COMMUNITY BUILDING**
700 E. Durham Ave.
Dewey, Oklahoma 74029
A01
FLOOR PLAN

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ARCHITECTS
A Native American Owned Firm

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20210121.53

ISSUE DATE:
6/28/2024

ISSUE:
CONSTRUCTION DOCUMENTS

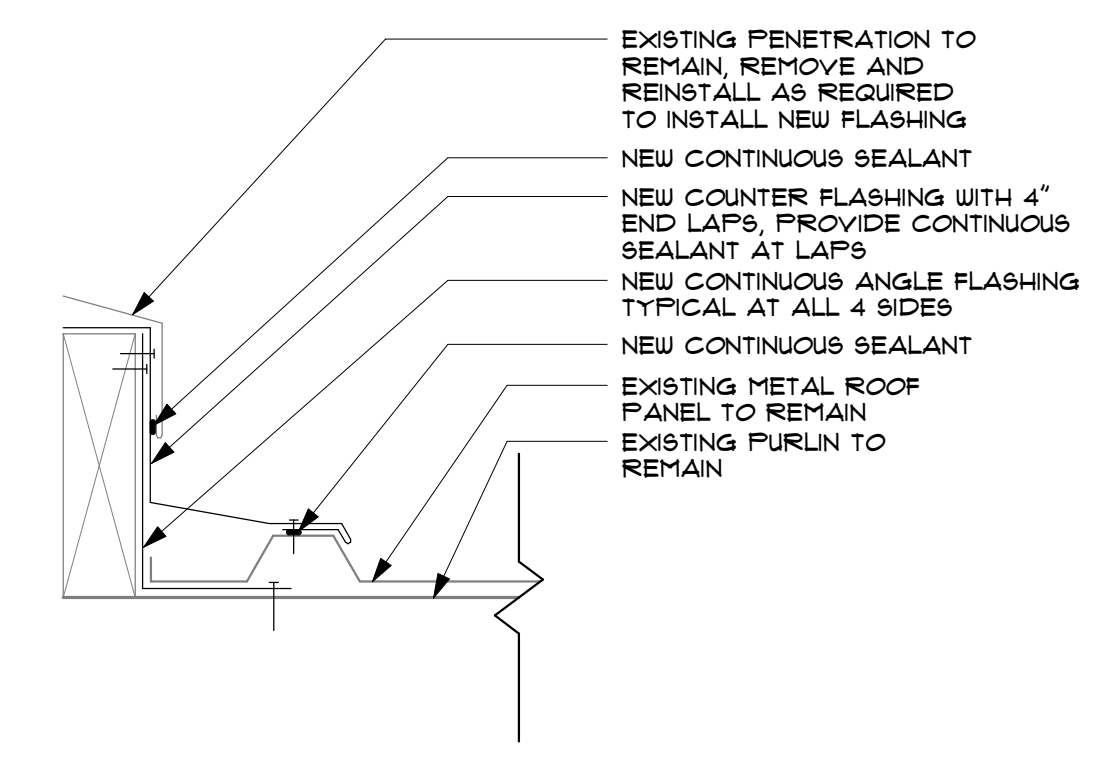
OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
FLOOR PLAN

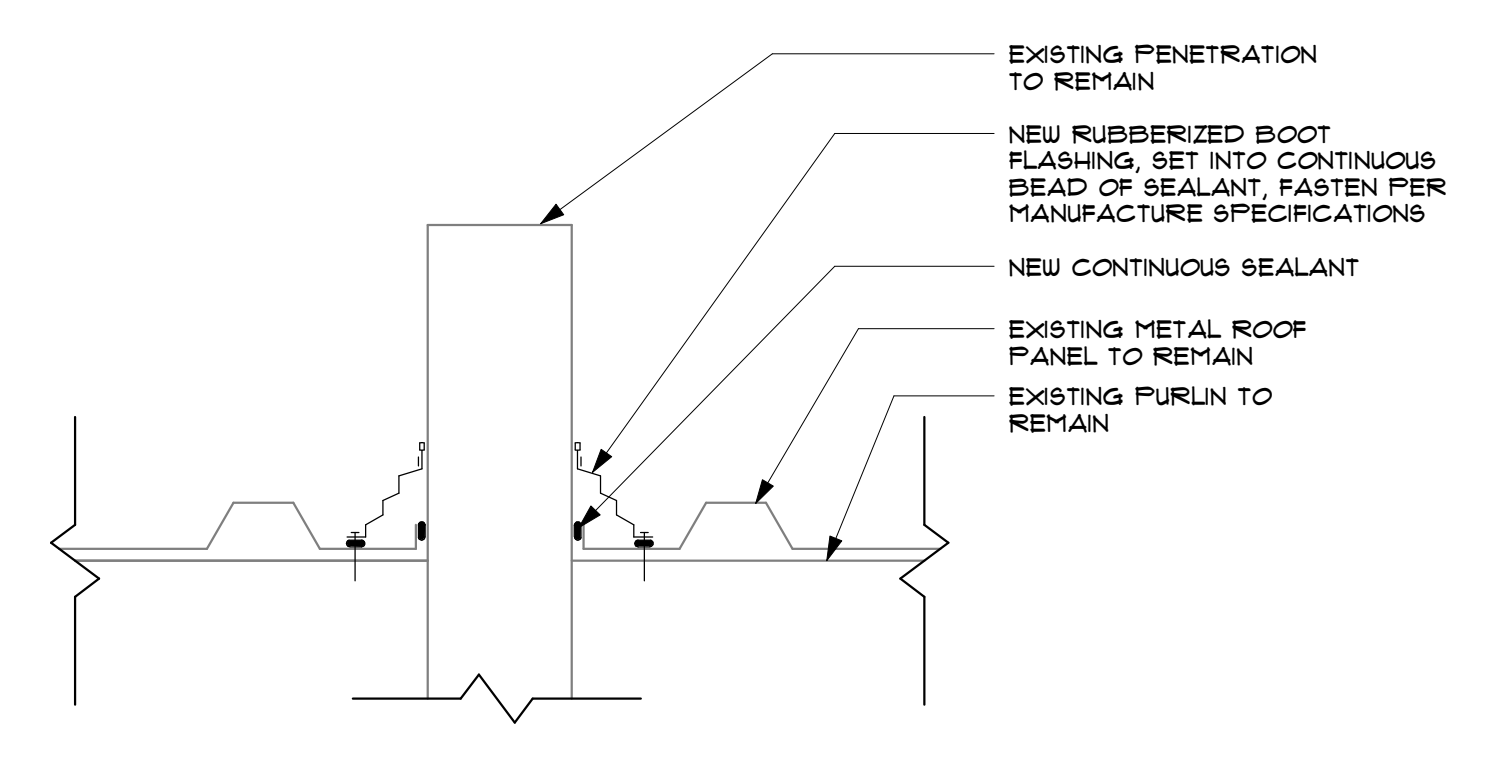
SHEET NUMBER:
A01
© 2024 COPYRIGHT BLUE RIVER ARCHITECTS, LLC

GENERAL NOTES

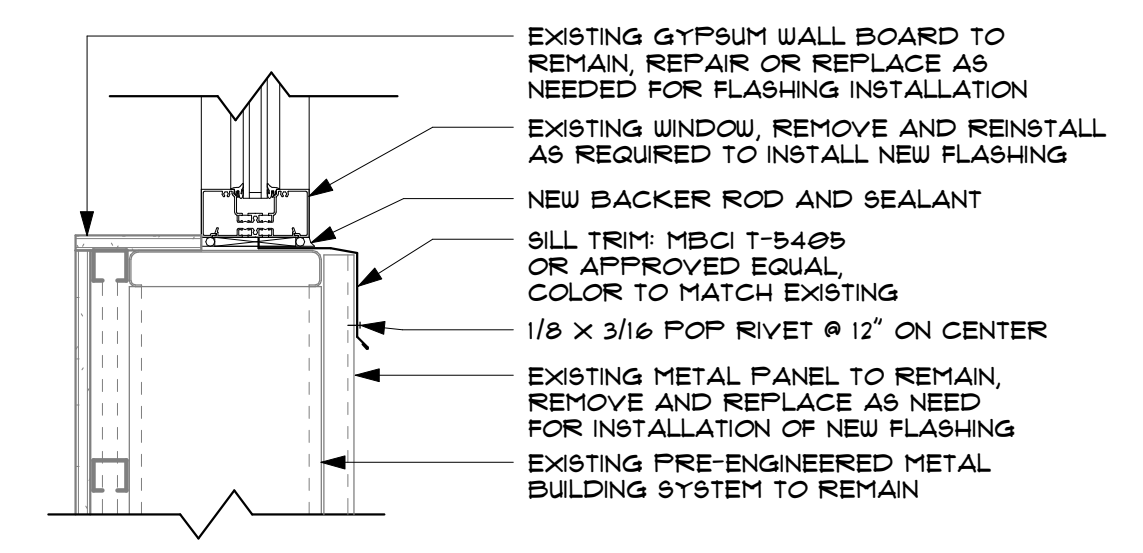
- ALL SIDEWALL PENETRATIONS TO RECEIVE FLASHING, NOT ALL LOCATION MAY NOT BE INDICATED ON PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM ALL PENETRATION LOCATIONS.
- SIDE WALL PENETRATIONS TO RECEIVE LOW-PROFILE MASTER FLASH BY AZTEC WASHER COMPANY OR APPROVED EQUAL COLORS TO BE SELECTED DURING SUBMITTAL PROCESS.



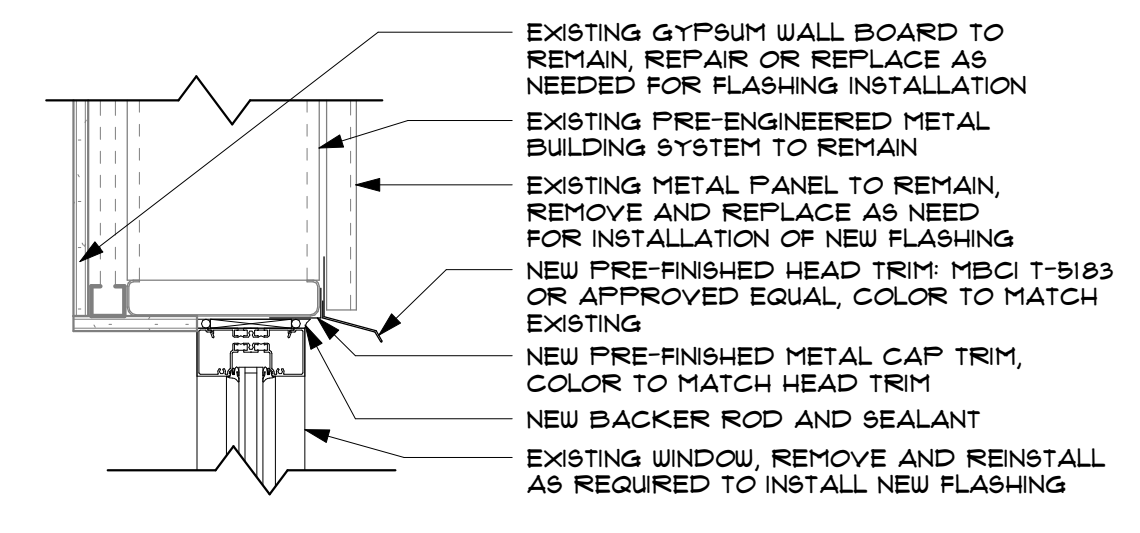
F ROOF PENETRATION DETAIL
3" = 1'-0"



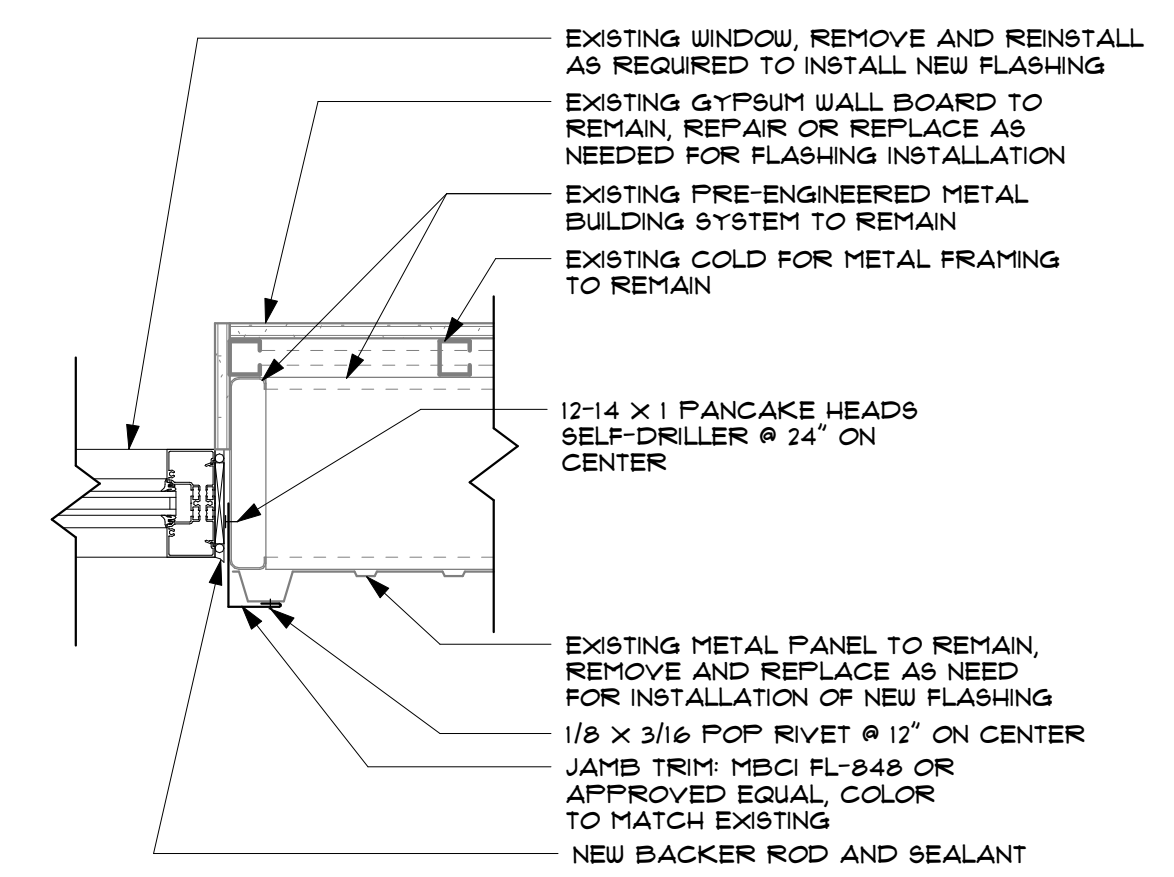
E ROOF PENETRATION DETAIL
3" = 1'-0"



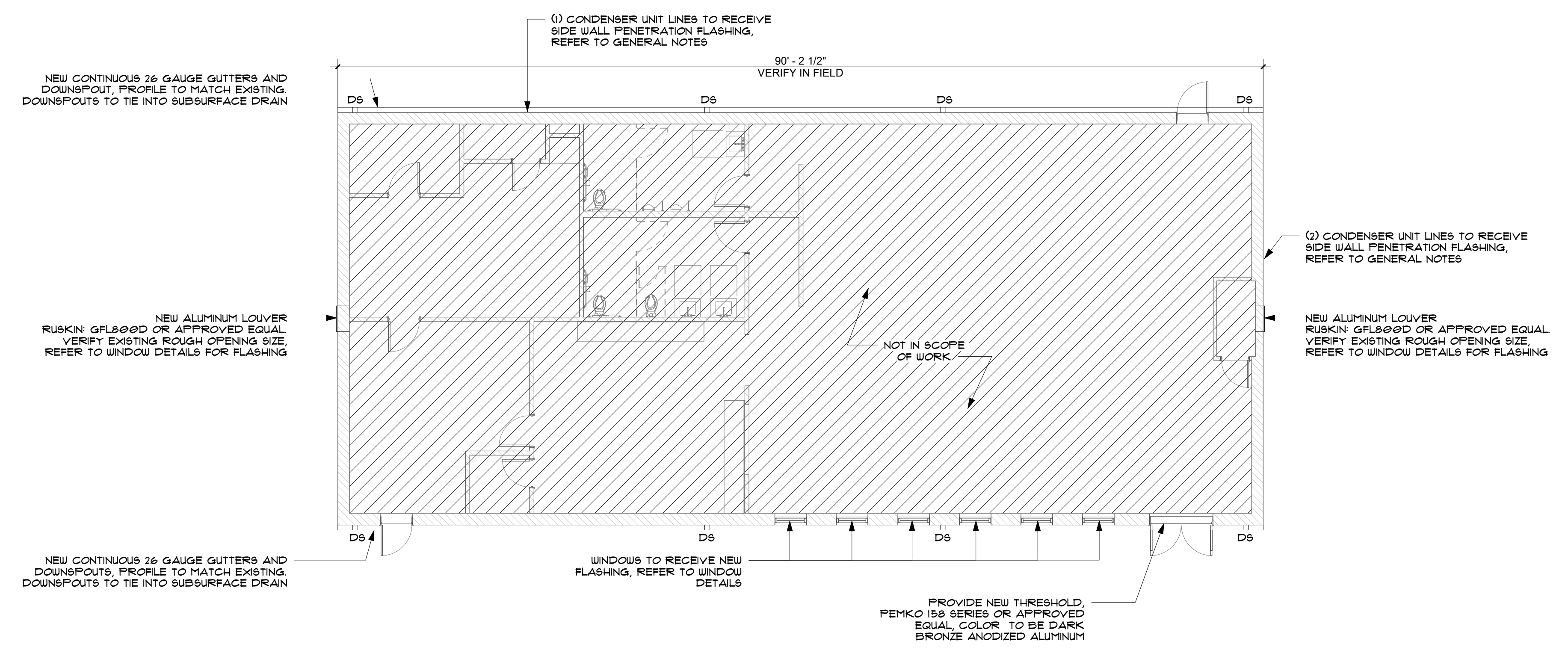
D WINDOW DETAIL - SILL
1 1/2" = 1'-0"



C WINDOW DETAIL - HEAD
1 1/2" = 1'-0"



B WINDOW DETAIL - JAMB
1 1/2" = 1'-0"



A FLOOR PLAN
1/8" = 1'-0"
0' 2' 4' 8' 16'
NORTH

GENERAL NOTES:

- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
- UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND REGULATIONS OF THE CITY OF DEWEY, OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY, AND STATE DEPARTMENT OF TRANSPORTATION, AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, TAP FEES, ETC.
- ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.
- NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

EXCAVATION NOTIFICATION

- ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS).
- CONTRACTORS TO CALL 811 (OR VISIT CALL811.COM) TO REQUEST UTILITY LOCATES. ONCE COMPLETION OF MARKINGS HAS BEEN CONFIRMED BY THE CONTRACTOR, NO AUTOMATED OR MECHANICAL EQUIPMENT SHOULD BE USED WITHIN TWO FEET ON EITHER SIDE OF THE MARKINGS (OR ANOTHER MORE STRINGENT TOLERANCE AS DIRECTED), AND EXISTING FACILITIES MUST BE EXPOSED BY HAND.
- EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

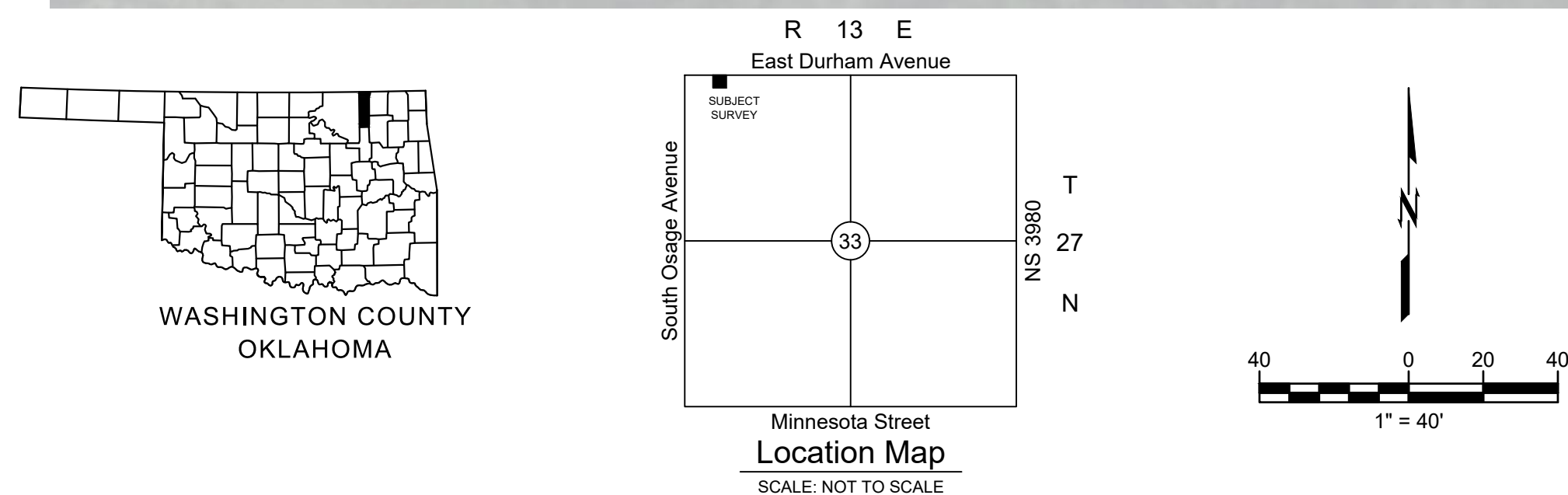
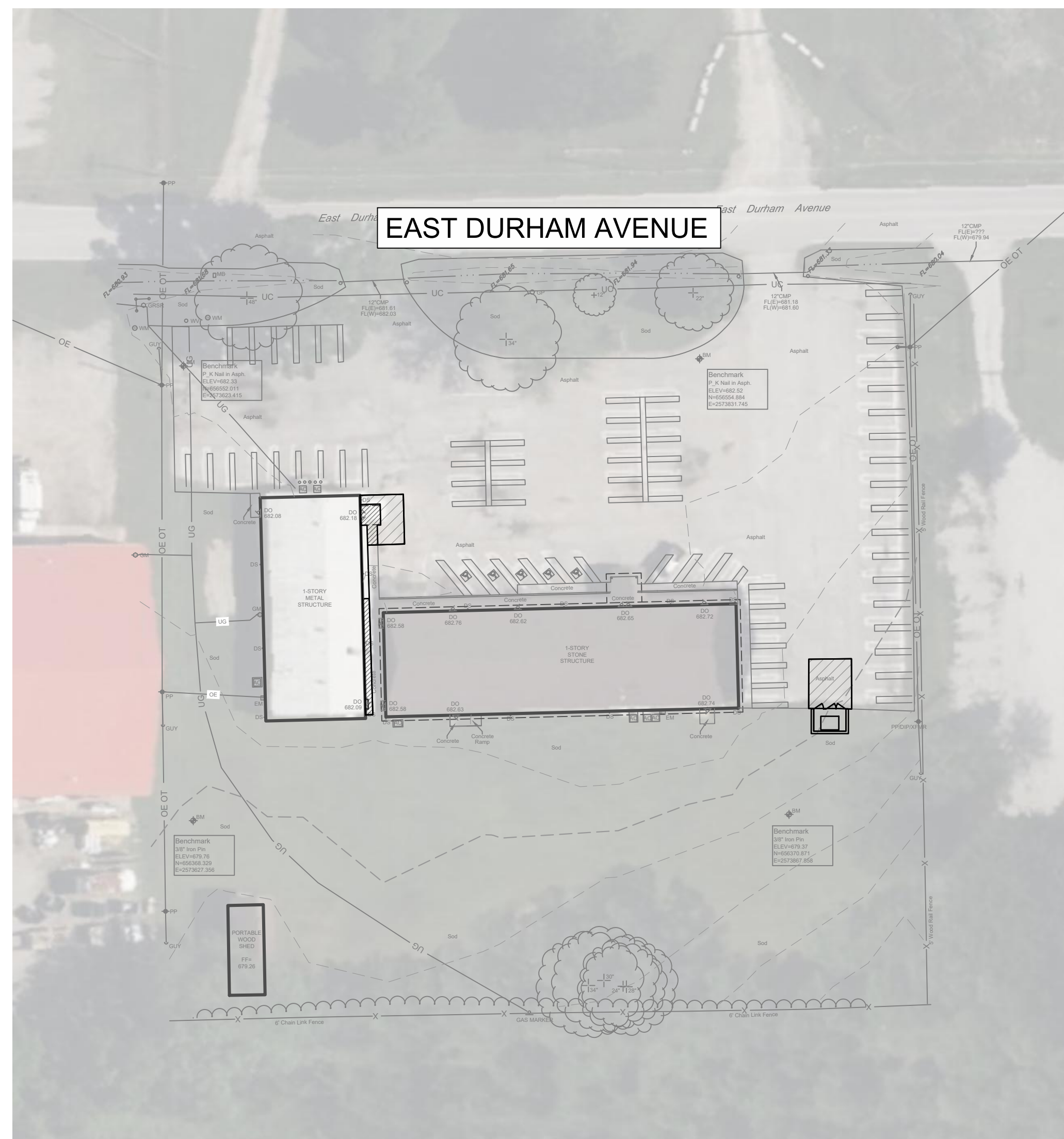
SITE ACCESSIBILITY

- ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY CODES [AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES; THE PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) PUBLISHED IN THE FEDERAL REGISTER JULY 2011; INTERNATIONAL BUILDING CODE (IBC); ICC A117.1; ETC.]
- WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THESE GUIDELINES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THESE GUIDELINES WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THESE GUIDELINES, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- GENERAL SLOPE GUIDANCE:
 - CROSS SLOPES SHALL NOT EXCEED 1:50 (2.0%). PREFERRED SLOPE IS 1.5%.
 - RUNNING SLOPES SHALL NOT EXCEED 5% EXCEPT AT RAMPS. PREFERRED MAXIMUM SLOPE IS 4.5%.
 - RAMP RUNNING SLOPES SHALL NOT EXCEED 1:12 (8.3%). PREFERRED MAXIMUM SLOPE IS 7.8%.
 - SLOPES AT LANDINGS, ACCESSIBLE PARKING STALLS, AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION. PREFERRED MAXIMUM SLOPE IS 1.5%.
 - EXCEPTIONS WITHIN THE PUBLIC RIGHT-OF-WAY: WHERE THE ESTABLISHED ADJACENT STREET GRADE EXCEEDS 5%, RUNNING SLOPES PARALLEL TO THE STREET SLOPES SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET. CURB RAMP RUNNING SLOPE CAN EXCEED 8.3% TO LIMIT THE RESULTING THE RAMP LENGTH TO 15 FEET.

SURVEY

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE SHOWN PER THE FIELD SURVEY PERFORMED BY WALLACE DESIGN COLLECTIVE DATED APRIL 17, 2024.

CIVIL CONSTRUCTION DOCUMENTS FOR CHEROKEE CULTURAL CENTER WATER MITIGATION 700 E. DURHAM AVE. DEWEY, OK 74029



OWNER:
CHEROKEE NATION
W.W. KEELE TRIBAL COMPLEX
17675 S MUSKOGEE AVE
TAHLEQUAH, OKLAHOMA
918.453.5000

CLIENT:
BLUE RIVER ARCHITECTS, LLC
CHRIS SEAT, AIA
320 S BOSTON AVE SUITE 103
TULSA, OKLAHOMA 74103
918.877.9036

ENGINEER:
WALLACE DESIGN COLLECTIVE, PC
DARREN BURNS, P.E.
123 N. M.L.K. JR. BLVD
TULSA, OKLAHOMA 74103
918.584.5858

ZONING:
ADMINISTRATION DEPARTMENT
ANNETTE BRESHEARS, CITY CLERK
411 E. DON TYLER AVE.
DEWEY, OKLAHOMA 74029
918.534.2272

FIRE:
FIRE DEPARTMENT
TERRY YOUNG, FIRE CHIEF
801 N. CHEROKEE AVE.
DEWEY, OKLAHOMA 74029

ELECTRIC:
PUBLIC SERVICE COMPANY OF OKLAHOMA
888.216.3523

GAS:
OKLAHOMA NATURAL GAS
BRANDON RAINBOLT
918.947.7098
BRANDON.RAINBOLT@ONG.COM

Benchmark Notes			
P_K Nail in Asph.	P_K Nail in Asph.	3/8" Iron Pin	3/8" Iron Pin
ELEV=682.33	ELEV=682.52	ELEV=679.76	ELEV=679.37
N=656552.011	N=656554.884	N=656368.329	N=656370.871
E=2573623.415	E=2573831.745	E=2573627.356	E=2573867.858

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ABBREVIATIONS	LINETYPES	SYMBOLS
(M) MEASURED DATA	— SF —	⊙ UTILITY POLE
(R) RECORD DATA	— SF —	⊙ LIGHT POLE
BC BACK OF CURB	— SF —	⊙ GUY ANCHOR
BL BUILDING LINE	— SF —	⊙ ELECTRIC BOX
CL CENTERLINE	— SF —	⊙ ELECTRIC METER
EG EXISTING GRADE	— SF —	⊙ ELECTRIC TRANSFORMER
FF FINISHED FLOOR	— SF —	⊙ A/C UNIT
FG FINISHED GRADE	— SF —	⊙ ELECTRIC MANHOLE
FL FLOWLINE	— SF —	⊙ GAS METER
GL GUTTER LINE	— SF —	⊙ GAS VALVE
HP HIGH POINT	— SF —	⊙ OIL/GAS WELLHEAD
INV INVERT	— SF —	⊙ VENT PIPE
LF LINEAR FEET	— SF —	⊙ PIPELINE MARKER
LP LOW POINT	— SF —	⊙ COMMUNICATION PEDESTAL
ME MATCH EXISTING	— SF —	⊙ COMMUNICATION MANHOLE
RW RIGHT-OF-WAY	— SF —	⊙ SEWER CLEAN-OUT
SF SQUARE FEET	— SF —	⊙ SANITARY SEWER MANHOLE
SY SQUARE YARDS	— SF —	⊙ DOWNSPOUT
TBK TOP OF BANK	— SF —	⊙ ROOF DRAIN
TC TOP OF CURB	— SF —	⊙ STORM DRAIN MANHOLE
TG TOP OF GRATE	— SF —	⊙ FIRE DEPARTMENT CONNECTION
TOE TOP OF BANK	— SF —	⊙ FIRE HYDRANT
TP TOP OF PAVEMENT	— SF —	⊙ IRRIGATION CONTROL VALVE
TR TOP OF RIM	— SF —	⊙ SHUT-OFF VALVE
TS TOP OF SIDEWALK	— SF —	⊙ SPRINKLER HEAD
TW TOP OF WALL	— SF —	⊙ WATER METER
		⊙ WATER VALVE
		⊙ YARD HYDRANT
		⊙ PIPE BOLLARD
		⊙ BENCHMARK
		⊙ ACCESSIBLE PARKING
		⊙ MAILBOX
		⊙ MONITORING WELL
		⊙ POTHOLE
		⊙ SIGN

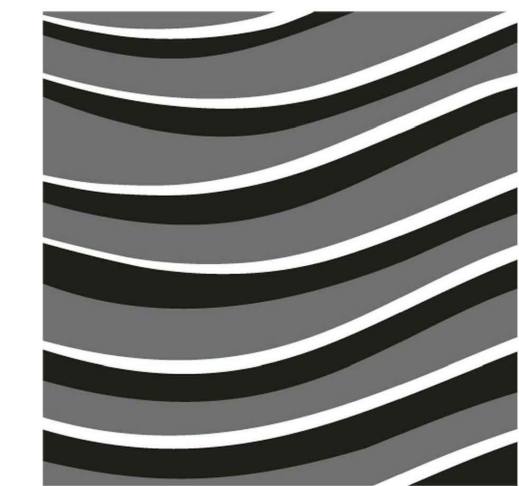
AS-BUILTS:
THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL CHANGES MADE TO THE APPROVED PLANS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS, CHANGES MADE BY THE ENGINEER OF RECORD, OR CHANGES REQUESTED BY REPRESENTATIVES OF THE JURISDICTIONS HAVING AUTHORITY. ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE ENGINEER OF RECORD PER AN RFI SUBMITTAL PROCESS. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD AFTER FINAL INSPECTION OF THE PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DOCUMENTS.

CAUTION
NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ORIGINAL SIZE: 24" X 36" PLOT: 7/1/2024 9:12:33 PM I:\civil-server\Projects\240088 CN Dewey Cultural Center\Drawings\PRODUCTION\C100 Cover Sheet.dwg



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wallace design collective
wallace design collective, pc
structural-civil-landscape-survey
123 north martin luther king jr. blvd.
tulsa, oklahoma 74103
918.584.5858
oklahoma.ccl.1460
ext: 6-50-35

CHEROKEE CULTURAL CENTER WATER MITIGATION
700 E. Durham Ave.
Dewey, Oklahoma 74029
C100
COVER PLAN



BLUE RIVER PROJECT NUMBER:
20210121.53
ISSUE DATE:
6/28/2024
ISSUE:
CONSTRUCTION DOCUMENTS
OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
COVER PLAN

SHEET NUMBER:
C100
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ORIG. SIZE: 24" X 36"

PLOT: 7/1/2024 9:12:35 PM

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GENERAL DEMOLITION NOTES:

- ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
- CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
- CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
- WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
- CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
- CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
- CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.
- NO UTILITY INTERRUPTIONS WILL BE ALLOWED WITHOUT CONSENT OF THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF FOUR WORKING DAYS PRIOR TO THE REQUESTED SHUT DOWN.

GENERAL SITE NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

GENERAL UTILITY NOTES:

- PRIOR TO CONSTRUCTION, LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR WITH THE PROPER UTILITY COMPANY PROVIDING SERVICE. SERVICE LINES SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS (TELECOMMUNICATIONS, ELECTRIC, GAS, ETC.) PRIOR TO INSTALLING SERVICE LINES OR APPURTENANCES. CONTRACTOR IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- THIS PLAN DEPICTS THE INTENT OF PRIVATE AND FRANCHISE UTILITY ROUTINGS AS UNDERSTOOD DURING DESIGN PHASES OF THE PROJECT. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO NEGOTIATE ALL CONTRACTS FOR SERVICE WITH EACH INDIVIDUAL UTILITY COMPANY AND TO PROVIDE THE ENGINEER WITH ANY DOCUMENTS THAT MAY AFFECT THE LAYOUT.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE SEWER LINES.
- NOT ALL EXISTING UNDERGROUND UTILITIES MAY BE SHOWN ON THIS PLAN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. STORM TRENCH DETAIL RE: 9/C800.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.

GENERAL EROSION CONTROL NOTES:

- ALL GRADING AND EROSION CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY OF DEWEY STANDARDS AND SPECIFICATIONS, AND STATE PERMITTING REQUIREMENTS, RE: ODEQ PERMIT OKR10.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR NOTIFYING THE LAND OWNER AND EACH CONTRACTOR OR ENTITY (INCLUDING UTILITY CREWS AND CITY EMPLOYEES OR THEIR AGENTS) WHO WILL PERFORM WORK AT THE SITE AND WHAT ACTIONS OR PRECAUTIONS SHALL BE TAKEN WHILE ON-SITE TO MINIMIZE THE POTENTIAL FOR EROSION AND THE POTENTIAL FOR DAMAGING ANY BMP. THE PERMITTEE IS RESPONSIBLE FOR ANY DAMAGE A SUBCONTRACTOR MAY DO TO ESTABLISHED BMP'S AND ANY SUBSEQUENT WATER QUALITY VIOLATION RESULTING FROM THE DAMAGE.
- ENSURE THE DESIGN, INSTALLATION, AND MAINTENANCE OF EFFECTIVE EROSION AND SEDIMENT CONTROLS TO MINIMIZE THE DISCHARGE OF POLLUTANTS. AT A MINIMUM, SUCH CONTROLS MUST BE DESIGNED, INSTALLED, AND MAINTAINED TO:
 - CONTROL STORMWATER VOLUME, VELOCITY, AND PEAK FLOW RATES WITHIN THE SITE TO MINIMIZE SOIL EROSION;
 - CONTROL STORMWATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND TO MINIMIZE DOWNSTREAM CHANNEL AND STREAM BANK EROSION AND SCOUR;
 - MINIMIZE THE AMOUNT OF EXPOSED SOIL DURING CONSTRUCTION ACTIVITY;
 - MINIMIZE THE DISTURBANCE OF STEEP SLOPES;
 - MINIMIZE SEDIMENT DISCHARGES FROM THE SITE. ADDRESS FACTORS SUCH AS:
 - PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS
 - DIRECT STORMWATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORMWATER INFILTRATION AND FILTERING, UNLESS INFEASIBLE; AND
 - MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL WHERE PRACTICABLE
- INSTALLATION OF BMP'S NECESSARY TO PREVENT SOIL EROSION AND SEDIMENTATION AT THE DOWNGRADE PROJECT BOUNDARY (E.G. BUFFERS, PERIMETER CONTROLS, EXIT POINT CONTROLS, STORM DRAIN INLET PROTECTION) MUST BE COMPLETE PRIOR TO THE START OF ALL PHASES OF CONSTRUCTION. BY THE TIME CONSTRUCTION ACTIVITY IN ANY GIVEN PORTION OF THE SITE BEGINS, DOWNGRADE BMP'S MUST BE INSTALLED AND OPERATIONAL TO CONTROL DISCHARGES FROM THE INITIAL SITE CLEARING, GRADING, EXCAVATING, AND OTHER EARTH-DISTURBING ACTIVITIES. ADDITIONAL BMP'S SHALL BE INSTALLED AS NECESSARY THROUGHOUT THE LIFE OF THE PROJECT. FOLLOWING THE INSTALLATION OF THESE INITIAL BMP'S, ALL BMP'S NEEDED TO CONTROL DISCHARGES SHALL BE INSTALLED AND MADE OPERATIONAL PRIOR TO SUBSEQUENT EARTH DISTURBING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STABILIZED CONSTRUCTION ENTRANCE AND FOR CLEANING OF VEHICLE WHEELS IN ACCORDANCE WITH THE CITY OF DEWEY STANDARDS AND SPECIFICATIONS.
- SILT FENCES: PLACEMENT OF SILT FENCES SHALL BE AS SHOWN ON THESE PLANS. FENCING WHICH BECOMES DAMAGED SHALL BE REPLACED PROMPTLY. DEPOSITS OF SILT WHICH BUILD UP BEHIND DIKES MAY BE DISKED ONTO THE SITE BEFORE PLACEMENT OF TEMPORARY COVER. AFTER TEMPORARY COVER IS PLACED OR AFTER LANDSCAPING COMMENCES, SILT SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER.
- UNLESS LOCAL OR STATE REQUIREMENTS NECESSITATE MORE FREQUENT MONITORING, CONTRACTOR SHALL INSPECT EROSION CONTROL DEVICES EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN DEPTH (EXCLUSIVE OF HOLIDAYS). THE CONTRACTOR SHALL REPAIR DAMAGE, CLEAN OUT SEDIMENT, AND ADD ADDITIONAL CONTROL DEVICES AS NEEDED AS SOON AS POSSIBLE AFTER INSPECTION. DEFICIENCIES MUST BE CORRECTED WITHIN 7 DAYS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH EROSION CONTROL VIOLATIONS.

TEMPORARY STABILIZATION:

- INITIATE THE INSTALLATION OF STABILIZATION MEASURES IMMEDIATELY IN ANY DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR WILL BE TEMPORARILY INACTIVE FOR 14 OR MORE CALENDAR DAYS ON ANY PORTION OF THE SITE.
- TEMPORARY STABILIZATION SHALL INCLUDE TEMPORARY SEEDING, GEOTEXTILES, MULCHES, AND/OR OTHER TECHNIQUES TO REDUCE OR ELIMINATE EROSION UNTIL EITHER FINAL STABILIZATION CAN BE ACHIEVED OR UNTIL FURTHER CONSTRUCTION ACTIVITIES TAKE PLACE TO RE-DISTURB THIS AREA.
- TEMPORARY STABILIZATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.

FINAL STABILIZATION:

- FINAL STABILIZATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN PERENNIAL VEGETATION UNTIL UNIFORM COVER IS ESTABLISHED. UNLESS OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS, THIS SHALL INCLUDE A MINIMUM OF 70% COVERAGE AND NO BARE AREAS OF 10 SQUARE FEET OR MORE.

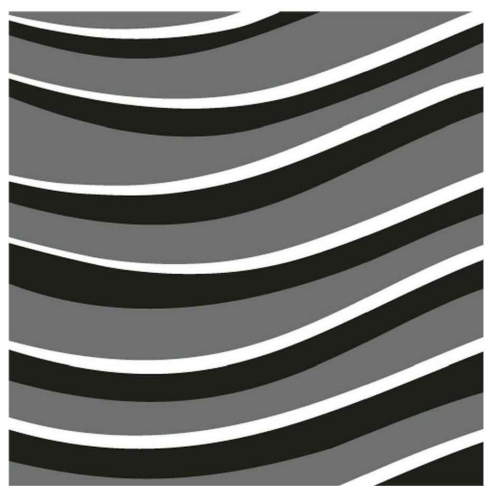
GENERAL GRADING NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED, AND APPROVED BY LOCAL AUTHORITIES.
- ALL BENCHMARKS, CONTROL POINTS, PROPERTY MARKERS, AND RIGHT-OF-WAY MONUMENTS DISTURBED OR DESTROYED SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF OKLAHOMA. ALL SURVEYING COSTS SHALL BE THE CONTRACTOR'S.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION, COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 98% AND 95% STANDARD PROCTOR DENSITY, RESPECTIVELY, AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SPECIFIED THEREIN. CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING ADJACENT PAVEMENT AREAS. THE TRANSITION BETWEEN THIS SITE AND ADJACENT SITES MUST BE SMOOTH AND MONOLITHIC. ALL GRADING MUST MEET AND MATCH GRADES ON ALL SIDES.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MEET AND MATCH TOP OF JUNCTION BOXES/MANHOLES OR CLEANOUTS WITH FINISHED PAVING GRADES. FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO JUNCTION BOX/MANHOLE LIDS, WATER METER LIDS, AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT LOCATIONS AND DIMENSIONS OF ENTRY, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND DOWNSPOUTS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR SOD.
- REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.



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oklahoma.ccl1460
est: 6-50-25

CHEROKEE CULTURAL CENTER WATER MITIGATION
700 E. Durham Ave.
Dewey, Oklahoma 74029
C101
GENERAL NOTES



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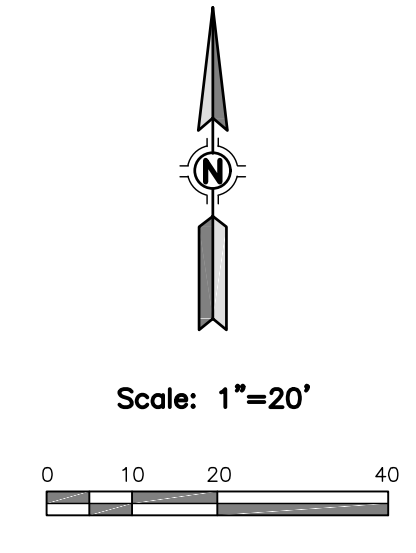
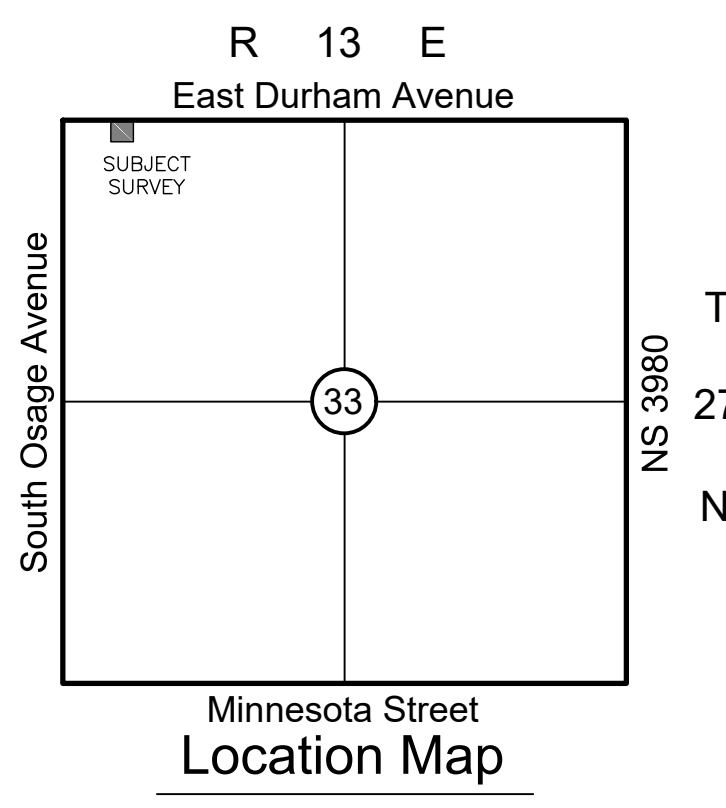
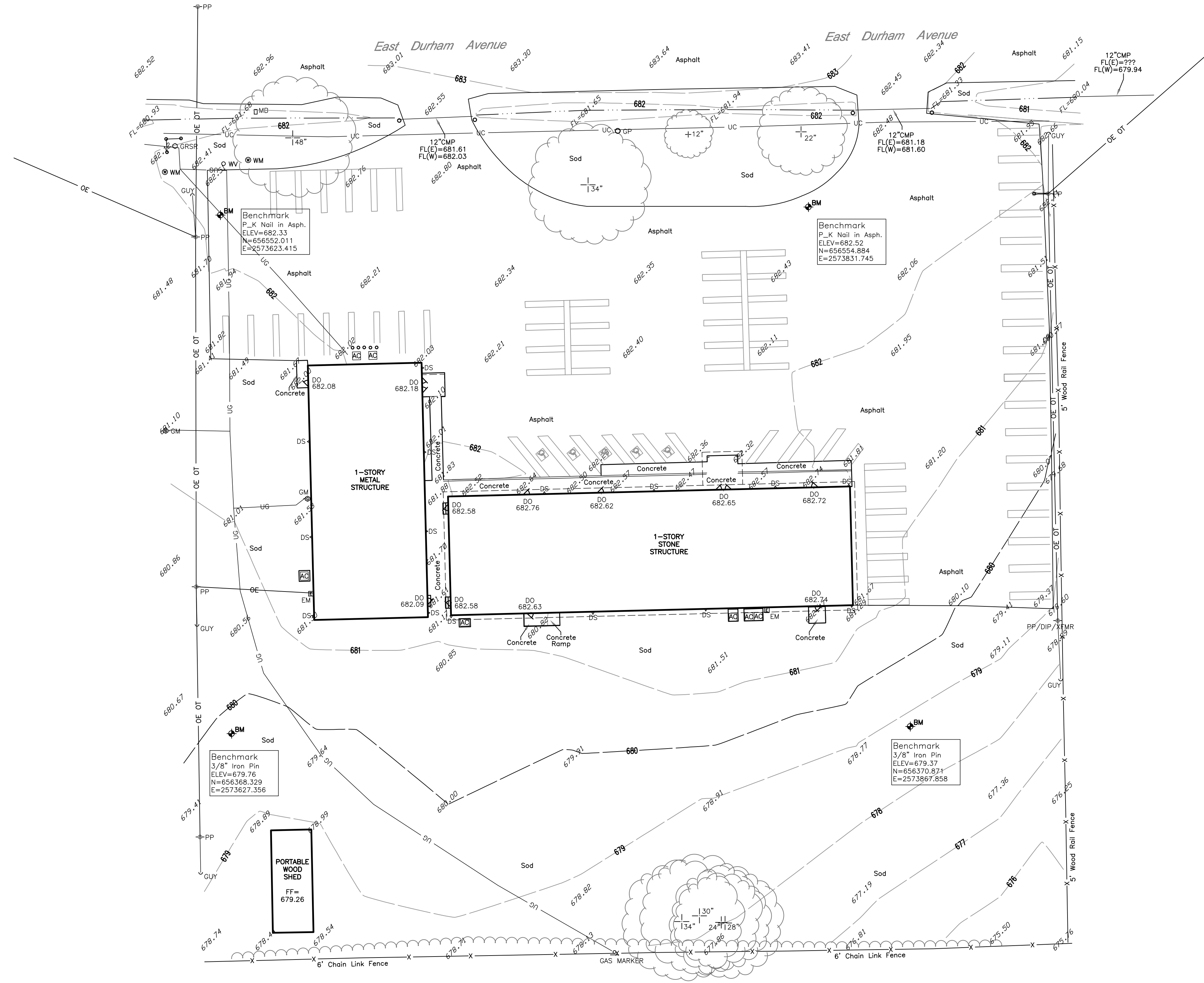
ISSUE:
CONSTRUCTION DOCUMENTS

OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
GENERAL NOTES

SHEET NUMBER:
C101

- Notes**
1. ABSTRACT OF TITLE OR ATTORNEY'S TITLE OPINION NOT AVAILABLE TO SURVEYOR AT DATE OF SURVEY.
 2. THIS FIRM WAS NOT CONTRACTED TO RESEARCH EASEMENTS OR ENCUMBRANCES OF RECORD. NO ATTEMPT TO RESEARCH THE COUNTY RECORDS OR OTHER RECORD OFFICES WAS PERFORMED BY THIS FIRM, THEREFORE EASEMENTS MAY AFFECT THE SUBJECT TRACT THAT ARE NOT REFLECTED BY THIS PLAT.
 3. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. (CALL "OKIE" BEFORE DIGGING!!)
 4. THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON GPS DATA (NAVD88).
 5. THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED THE OKLAHOMA STATE PLANE COORDINATE SYSTEM NAD83.



- Legend**
- AC AIR CONDITIONER
 - BM BENCHMARK
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN CUT
 - DO DOOR OPENING
 - DS DOWNSPOUT
 - EM ELECTRIC METER
 - FL FLOW LINE
 - FP FLAG POLE
 - GM GAS METER
 - GUY GUY WIRE DOWN
 - MB MAILBOX
 - OV OVERHEAD ELECTRIC
 - OE OVERHEAD DOOR OPENING
 - OT OVERHEAD TELEPHONE
 - PP POWER POLE
 - SD STORM DRAIN LINE
 - TPEP TELEPHONE PEDESTAL
 - UC UNDERGROUND CABLE
 - UE UNDERGROUND ELECTRIC
 - UG UNDERGROUND GAS
 - UT UNDERGROUND TELEPHONE
 - WL WATER LINE
 - WM WATER METER
 - WV WATER VALVE
 - XTMR ELECTRIC TRANSFORMER

SURVEY NOTE:
 THIS SHEET IS FOR THE CONVENIENCE OF THE CONTRACTOR. IT IS INTENDED FOR GENERAL SURVEY INFORMATION ONLY. SURVEY INFORMATION WAS REPRODUCED BY ELECTRONIC TRANSFER FROM THE SURVEYOR. ORIGINAL SURVEY DRAWINGS AVAILABLE FROM THE SURVEYOR.
 NOTE: SURVEY SCALED TO FIT PAGE.

Surveyor's Certification
 WE, WALLACE DESIGN COLLECTIVE, HEREBY CERTIFY THAT THE TOPOGRAPHICAL INFORMATION HEREON REPRESENTS A SURVEY PERFORMED UNDER OUR DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE.
 THIS TOPO SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS, AS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR THE STATE OF OKLAHOMA.
 WITNESS MY HAND AND SEAL THIS 17TH DAY OF APRIL, 2024.

Surveyor's Signature: Cliff Bennett
 REGISTERED PROFESSIONAL LAND SURVEYOR
 OKLAHOMA NO. 1815

Benchmark Notes

P.K Nail in Asphalt ELEV=682.33 N=656552.011 E=2573623.415	P.K Nail in Asphalt ELEV=682.52 N=656554.884 E=2573831.745	3/8" Iron Pin ELEV=679.76 N=656368.329 E=2573627.356	3/8" Iron Pin ELEV=679.37 N=656370.871 E=2573667.858
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REV	DATE	DESCRIPTION

DATE: 04-17-24
 PROJECT NO.: 2440088.2
 SHEET NAME: TOPO SURVEY
 SHEET NO.: S1.0

**Cherokee Nation
 Dewey Cultural Center**
 700 East Durham Avenue, Dewey, Oklahoma

**CHEROKEE CULTURAL
 CENTER WATER MITIGATION**
 700 E. Durham Ave.
 Dewey, Oklahoma 74029
C200
 SURVEY SHEET



BLUE RIVER PROJECT NUMBER:
20210121.53
 ISSUE DATE:
6/28/2024
 ISSUE:
CONSTRUCTION DOCUMENTS

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SHEET NAME:
SURVEY SHEET

SHEET NUMBER:
C200

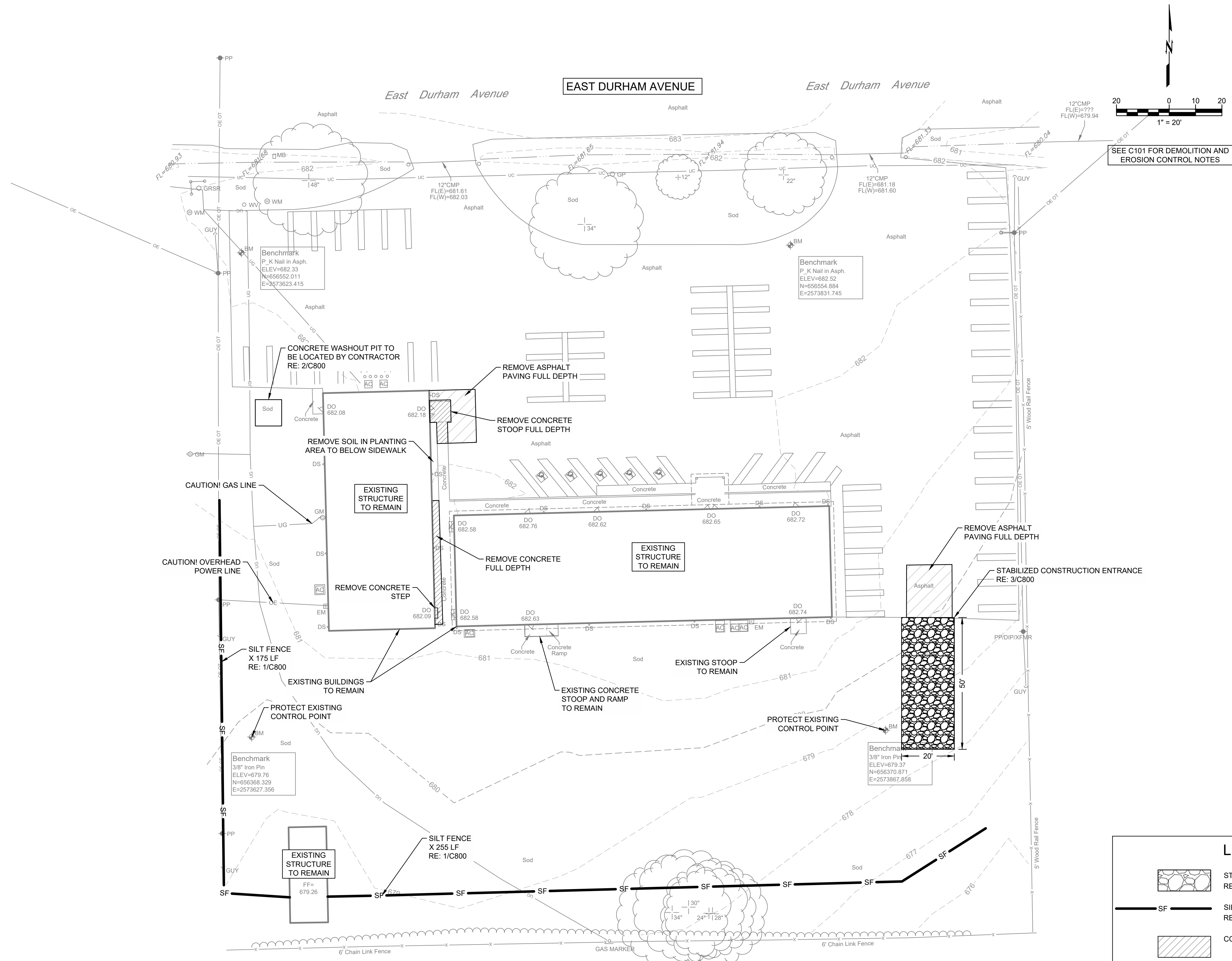
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Know what's below.
Call before you dig.

CAUTION
NOTICE TO CONTRACTOR

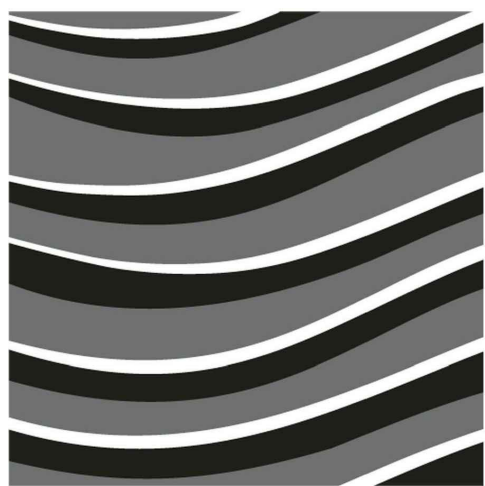
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SEE C101 FOR DEMOLITION AND EROSION CONTROL NOTES

LEGEND

	STABILIZED CONSTRUCTION ENTRANCE RE: 3/C800
	SILT FENCE RE: 1/C800
	CONCRETE DEMOLITION
	ASPHALT DEMOLITION



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07/01/2024



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oklahoma.cdl.1460
exp: 6-30-25

CHEROKEE CULTURAL CENTER WATER MITIGATION
700 E. Durham Ave.
Dewey, Oklahoma 74029
C300
DEMOLITION & EROSION CONTROL PLAN



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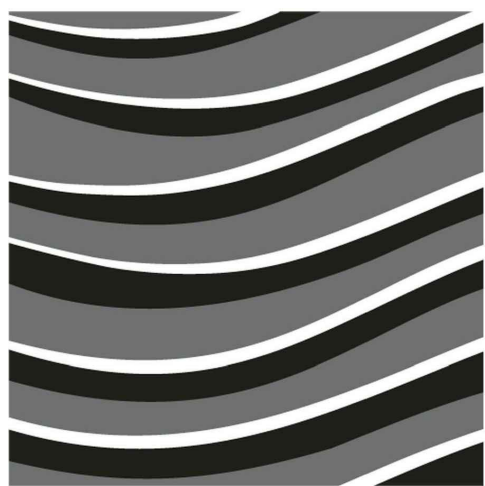
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DEMOLITION & EROSION CONTROL PLAN

SHEET NUMBER:
C300

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07/01/2024



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918.584.5858
oklahoma.ccl.1460
exp: 6-30-25

CHEROKEE CULTURAL CENTER WATER MITIGATION C400
SITE PLAN
700 E. Durham Ave.
Dewey, Oklahoma 74029

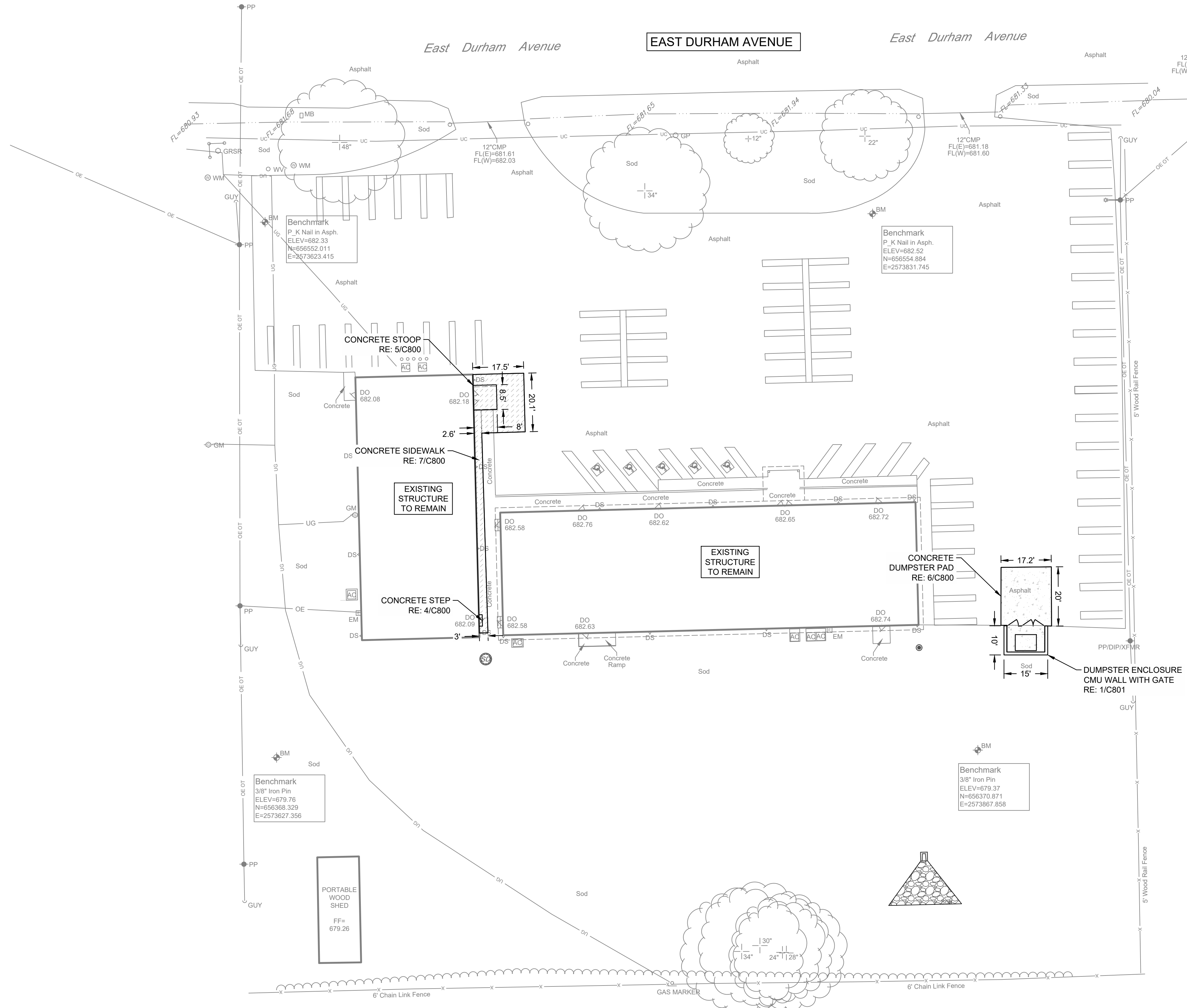
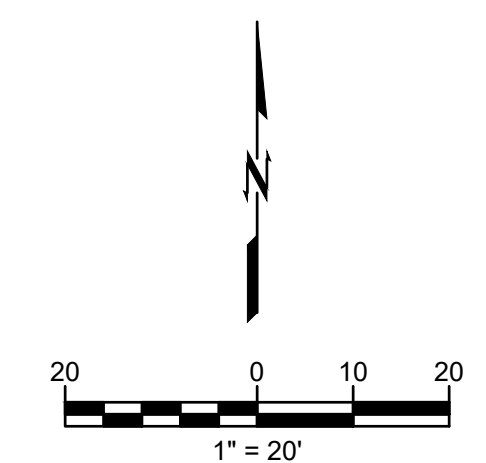


BLUE RIVER PROJECT NUMBER:
20210121.53
ISSUE DATE:
6/28/2024
ISSUE:
CONSTRUCTION DOCUMENTS
OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
SITE PLAN

SHEET NUMBER:
C400

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SEE C101 FOR SITE NOTES

Benchmark Notes			
P_K Nail in Asph. ELEV=682.33 N=656552.011 E=2573623.415	P_K Nail in Asph. ELEV=682.52 N=656554.884 E=2573831.745	3/8" Iron Pin ELEV=679.76 N=656368.329 E=2573627.356	3/8" Iron Pin ELEV=679.37 N=656370.871 E=2573867.858

SITE DATA:

LAND AREA SUMMARY	
NET LAND AREA	94,525 SF (2.17 AC)
SITE DATA	
ZONING	CG
BUILDING DATA	
TOTAL BUILDING:	9,631 SF
IMPERVIOUS AREA	
TOTAL SITE AREA:	94,525 SF (2.17 AC)
TOTAL DISTURBED AREA:	23,232 SF (0.53 AC)
EXISTING IMPERVIOUS AREA:	44,734 SF (1.03 AC)
PROPOSED IMPERVIOUS AREA:	44,811 SF (1.03 AC)
NET CHANGE:	77 SF
PROPERTY DESCRIPTION	
700 E. DURHAM AVE. DEWEY, OK 74029	
PARCEL NUMBER: 050999-332713-004000-08	
PART SECT 33-27-13 BEG 495.30' E OF NW COR OF N 1/4 NW NW: E 300': S 316.5' W 300': N 316.5' TO BEG: 2.17 AC DEWEY PART SECTION	

LEGEND

	STANDARD DUTY CONCRETE RE: 6/C800
	HEAVY DUTY CONCRETE RE: 6/C800
	CONCRETE SIDEWALK RE: 7/C800

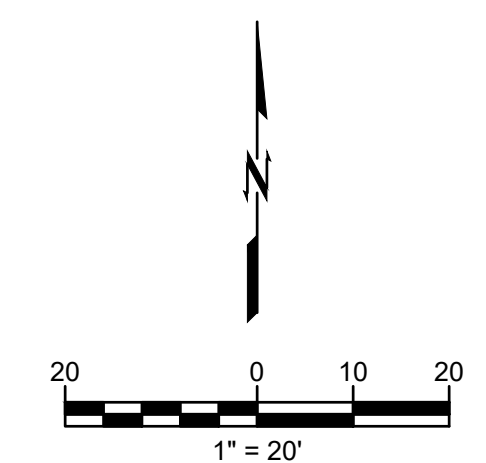
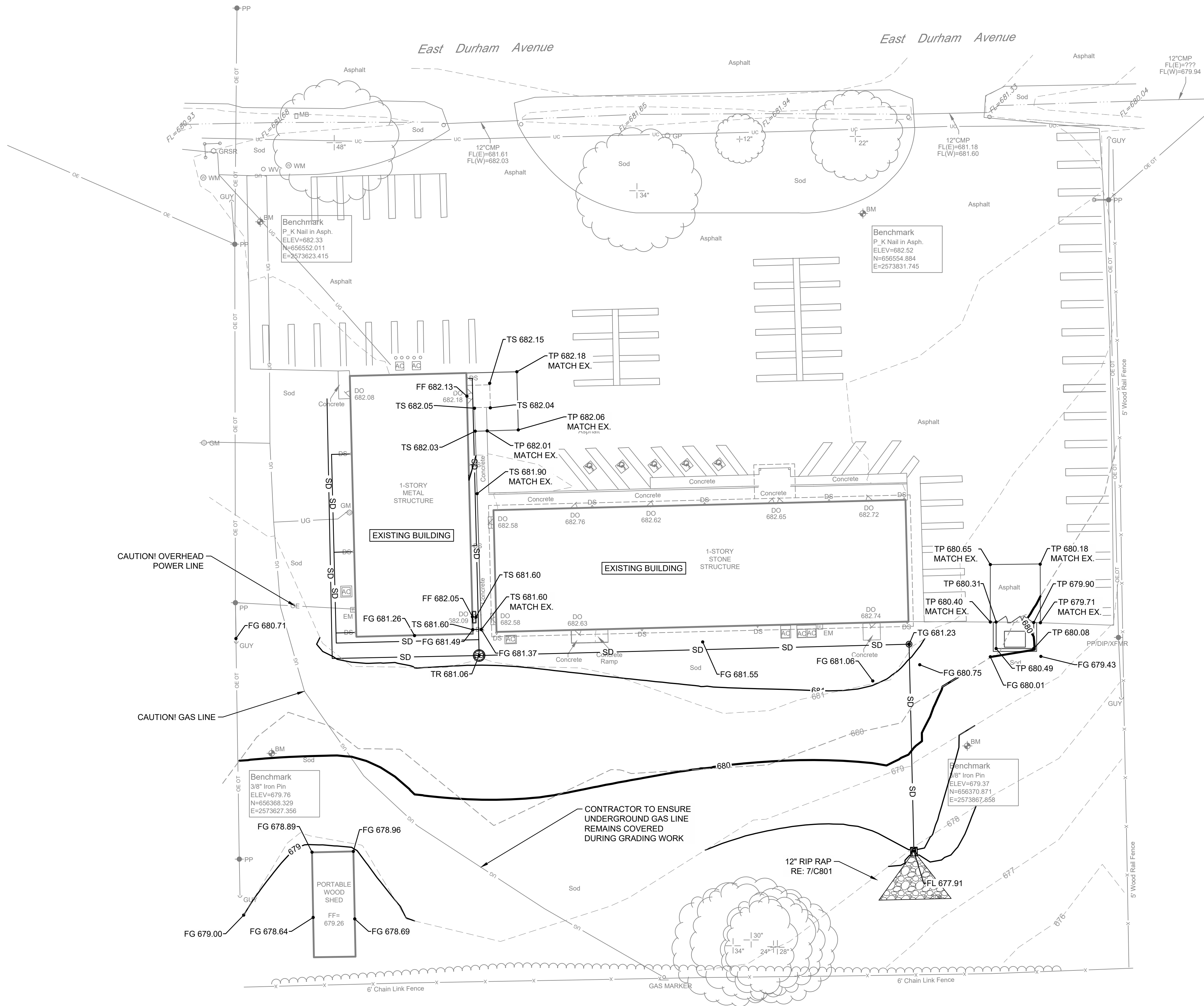
CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



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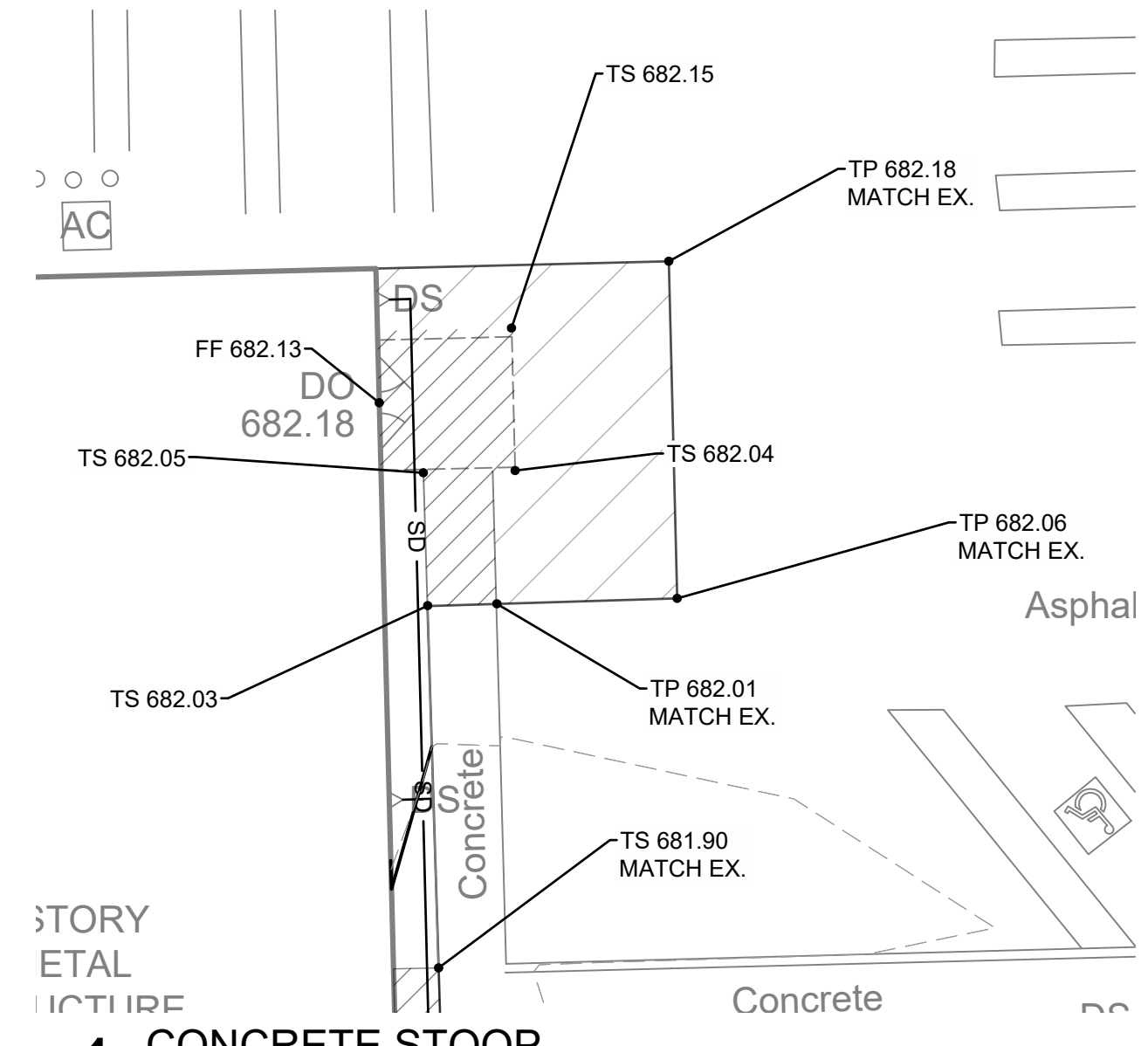
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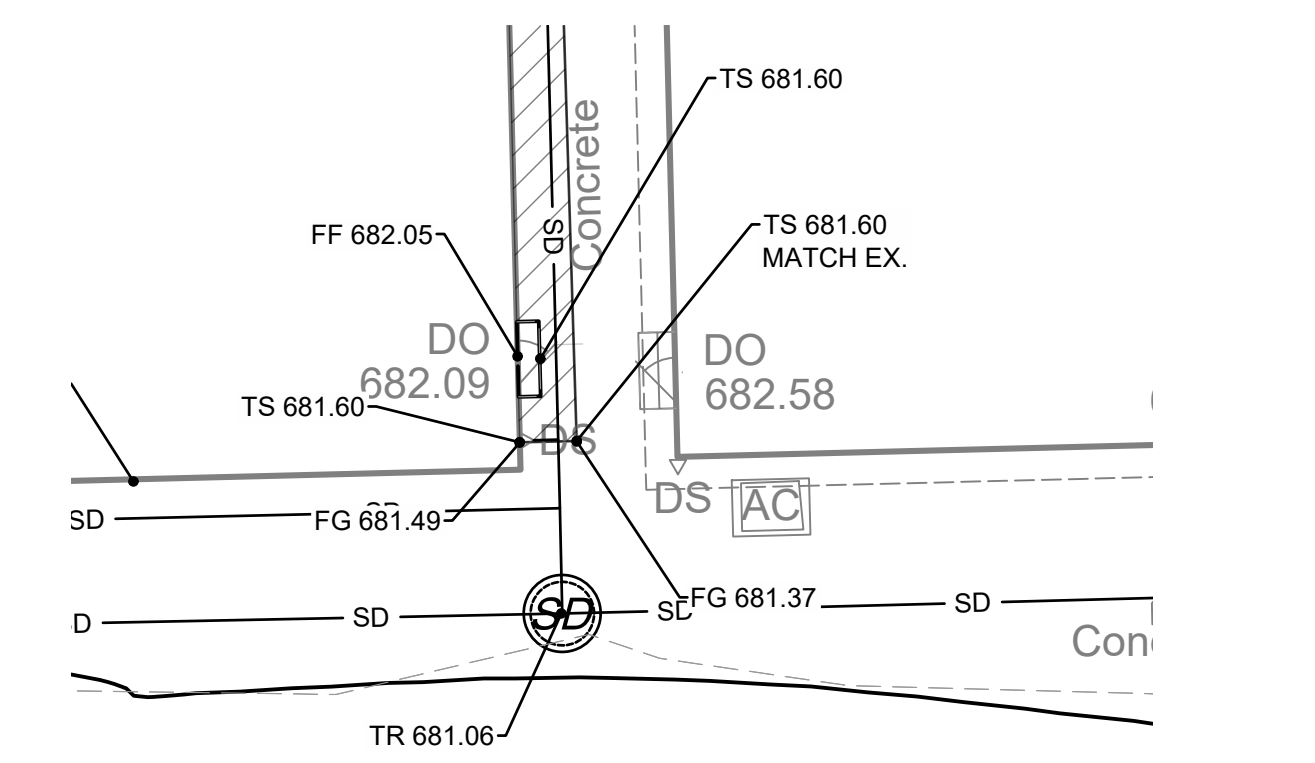
SEE C101 FOR GRADING NOTES

Benchmark Notes

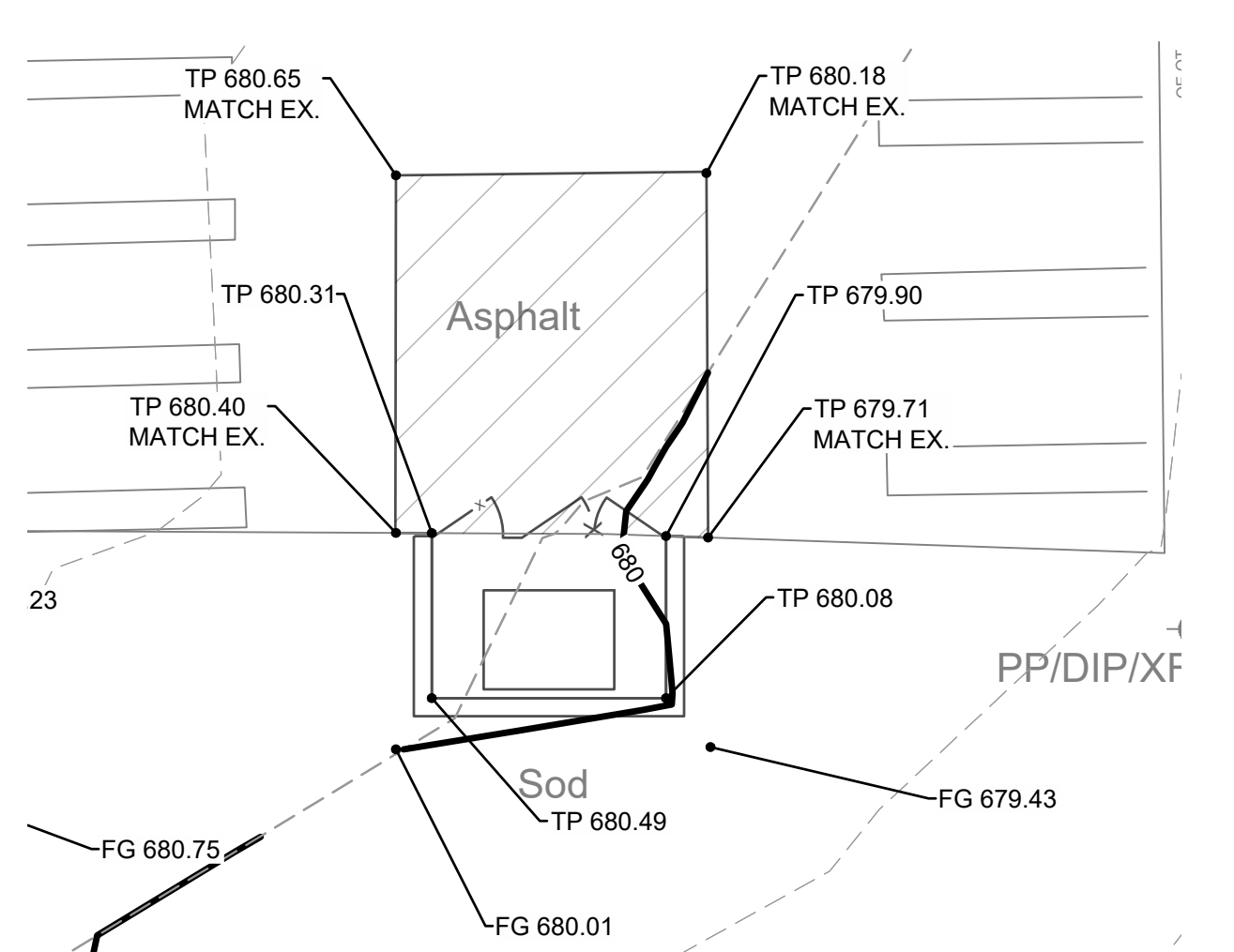
P_K Nail in Asph.	3/8" Iron Pin	3/8" Iron Pin
ELEV=682.33	ELEV=682.52	ELEV=679.76
N=656552.011	N=656554.884	N=656368.329
E=2573623.415	E=2573831.745	E=2573627.356
		E=2573867.858



1 CONCRETE STOOP
SCALE: 1"=10'



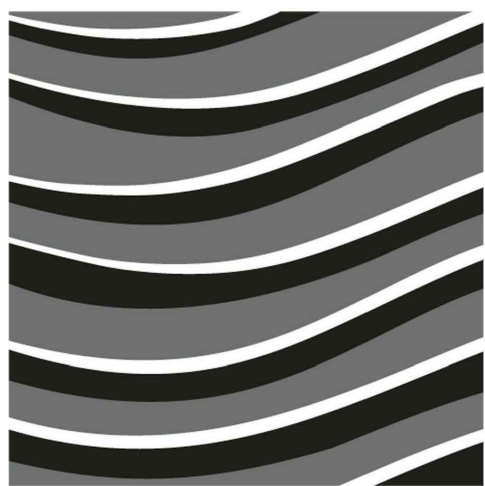
2 CONCRETE STEP AND SIDEWALK EDGE
SCALE: 1" = 10'



3 DUMPSTER PAD AND ENCLOSURE
SCALE: 1" = 10'

CAUTION NOTICE TO CONTRACTOR

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exp: 6-30-25

CHEROKEE CULTURAL CENTER WATER MITIGATION

700 E. Durham Ave.
Dewey, Oklahoma 74029

C500
GRADING PLAN



BLUE RIVER PROJECT NUMBER:
20210121.53

ISSUE DATE:
6/28/2024

ISSUE:
CONSTRUCTION DOCUMENTS

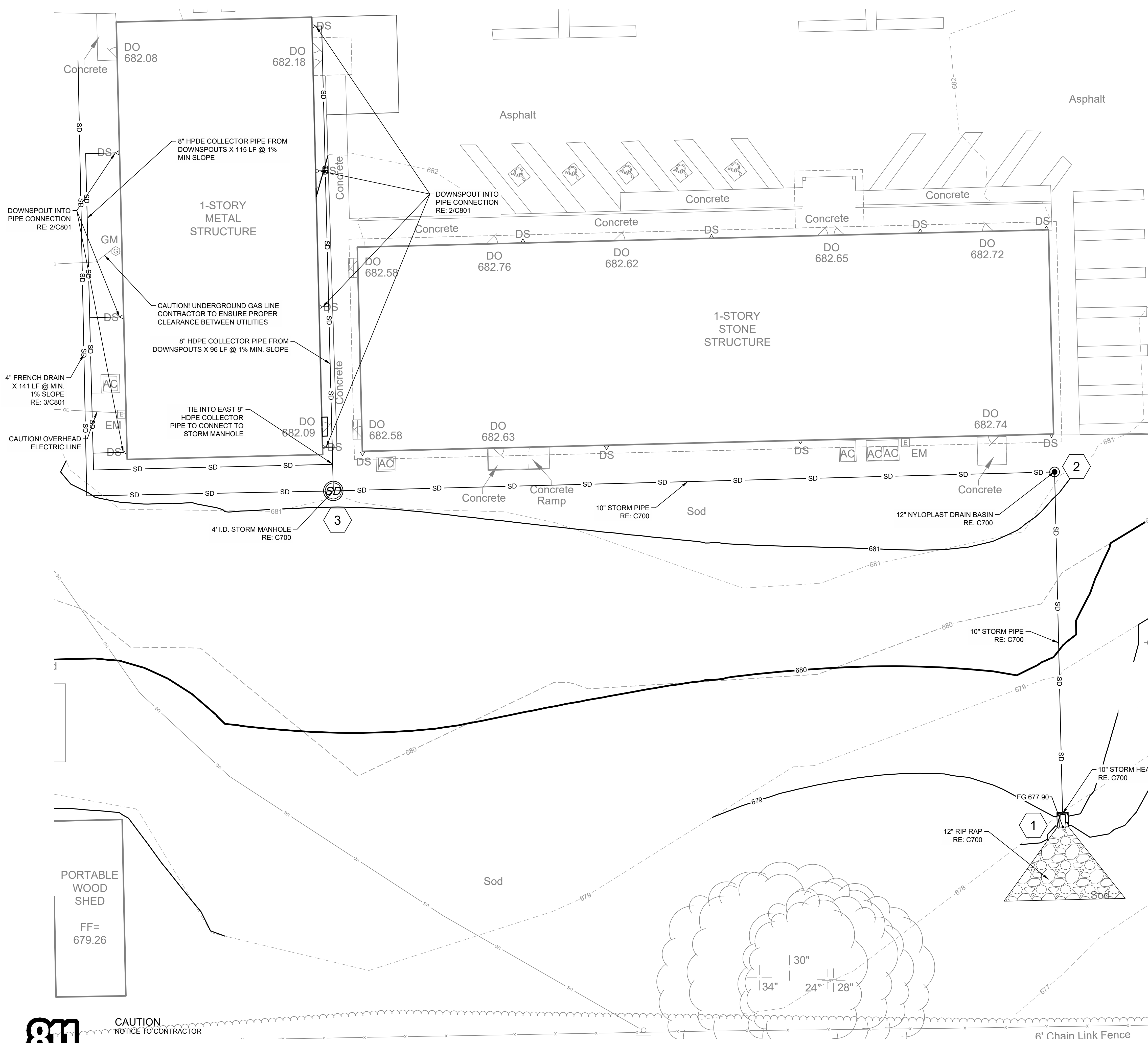
OTHER ISSUE DATES:
NO. DESCRIPTION DATE

SHEET NAME:
GRADING PLAN

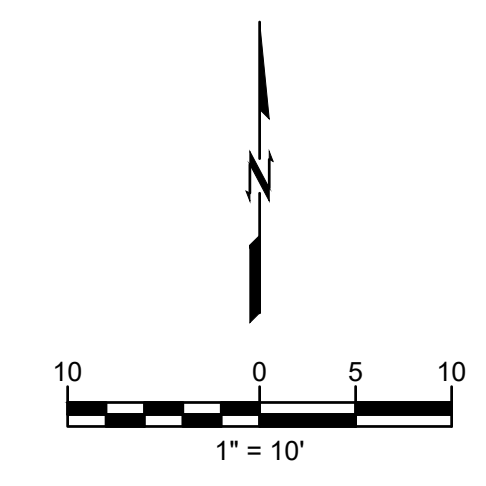
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C500

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- GENERAL STORM SEWER NOTES**
- ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. STORM TRENCH DETAIL RE: 4/C801.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
 - ALL STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF DEWEY CONSTRUCTION SPECIFICATIONS.
 - THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
 - ALL STORM SEWER MAIN PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE), ADS N-12, OR EQUIVALENT, CORRUGATED, SMOOTH INTERIOR PLASTIC PIPE.
 - ALL STORM SEWER PIPE AND FITTINGS TO INTERIOR AREA INLETS SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35, SOLID WALL PLASTIC PIPE.
 - ALL STORM SEWER LINES NOT UNDER PAVING SHALL BE LAID IN TYPE A AGGREGATE BEDDING TO A MINIMUM DEPTH OF 12 INCHES ABOVE THE TOP OF PIPE. THE TRENCH MAY BE BACKFILLED WITH COMPACTED SOIL UPON APPROVAL BY THE INSPECTOR.
 - STORM SEWER LINES LOCATED UNDER PAVED STREETS SHALL BE LAID IN TYPE A AGGREGATE BEDDING AND THE TRENCH COMPLETELY FILLED TO SUBGRADE WITH TYPE A AGGREGATE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - PIPE BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES, AND COMPACTED BY VIBRATORY PLATE OR OTHER METHOD APPROVED BY THE ENGINEER.
 - PAVING SUBGRADE SHALL BE RESTORED TO PROPER GRADE (+ OR - 0.1 FT) AND DENSITY AFTER PIPE IS BACKFILLED.
 - ALL PRECAST MANHOLES SHALL HAVE ADJUSTABLE TOP RIMS PROVIDING SIX (6) INCHES, PLUS OR MINUS, FOR ADJUSTMENT TO FINAL GRADES. ELEVATIONS SHOWN ON PLANS MAY BE ADJUSTED WHILE THE WORK IS IN PROGRESS TO CONFORM TO FINAL IN-PLACE PAVING AND LANDSCAPE GRADES.
 - THE UTILITY CONTRACTOR ASSUMES THE RISK OF ORDERING PRECAST CONCRETE COMPONENTS PRIOR TO FIELD STAKING AND REVIEW OF FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
 - VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS THE WORK IS COMPLETED.



STORM SEWER STRUCTURES					
STRUCTURE NUMBER	STRUCTURE TYPE	STRUCTURE SIZE	NORTHING	EASTING	
1	HEADWALL	10"	656332.85	2573849.43	PRIVATE
2	NYLOPLAST	12"	656406.03	2573847.70	PRIVATE
3	MANHOLE	4'	656402.12	2573699.02	PRIVATE

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structural - civil - landscape - survey
123 north martin luther king jr. Blvd.
tulsa, oklahoma 74103
918.584.5858
oklahoma.cdl.440
ext: 6-30-35

CHEROKEE CULTURAL CENTER WATER MITIGATION

700 E. Durham Ave.
Dewey, Oklahoma 74029

C600
UTILITY PLAN

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BLUE RIVER PROJECT NUMBER:
20210121.53

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6/28/2024

ISSUE:
CONSTRUCTION DOCUMENTS

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NO. DESCRIPTION DATE

SHEET NAME:
UTILITY PLAN

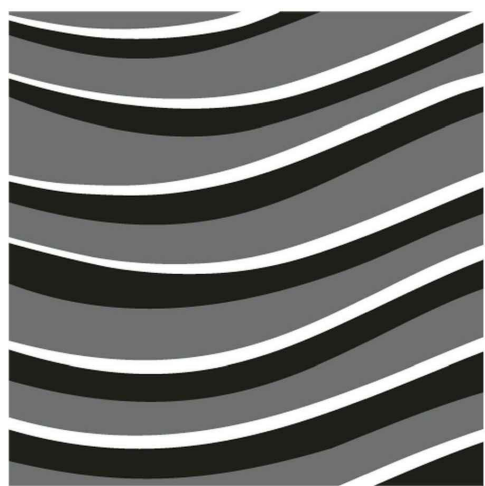
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C600

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estb: 6-30-25

CHEROKEE CULTURAL CENTER WATER MITIGATION
700 E. Durham Ave.
Dewey, Oklahoma 74029
C700
STORM SEWER PLAN & PROFILES



BLUE RIVER PROJECT NUMBER:
20210121.53

ISSUE DATE:
6/28/2024

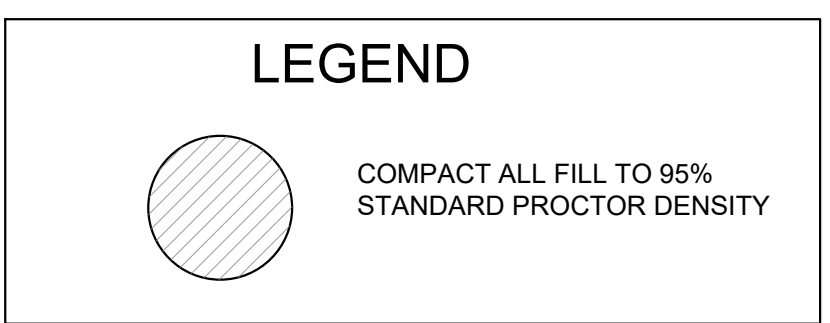
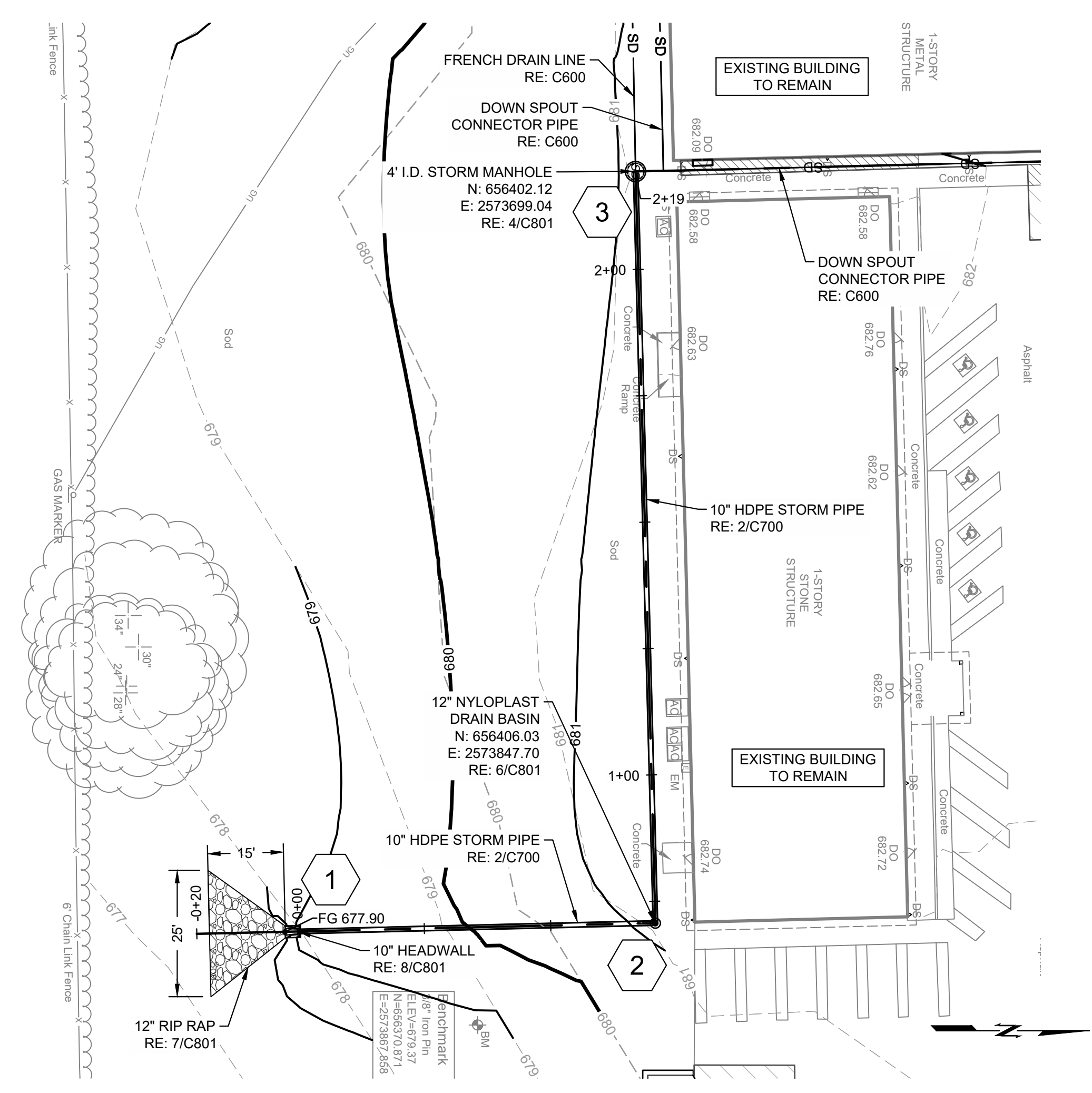
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CONSTRUCTION DOCUMENTS

OTHER ISSUE DATES:
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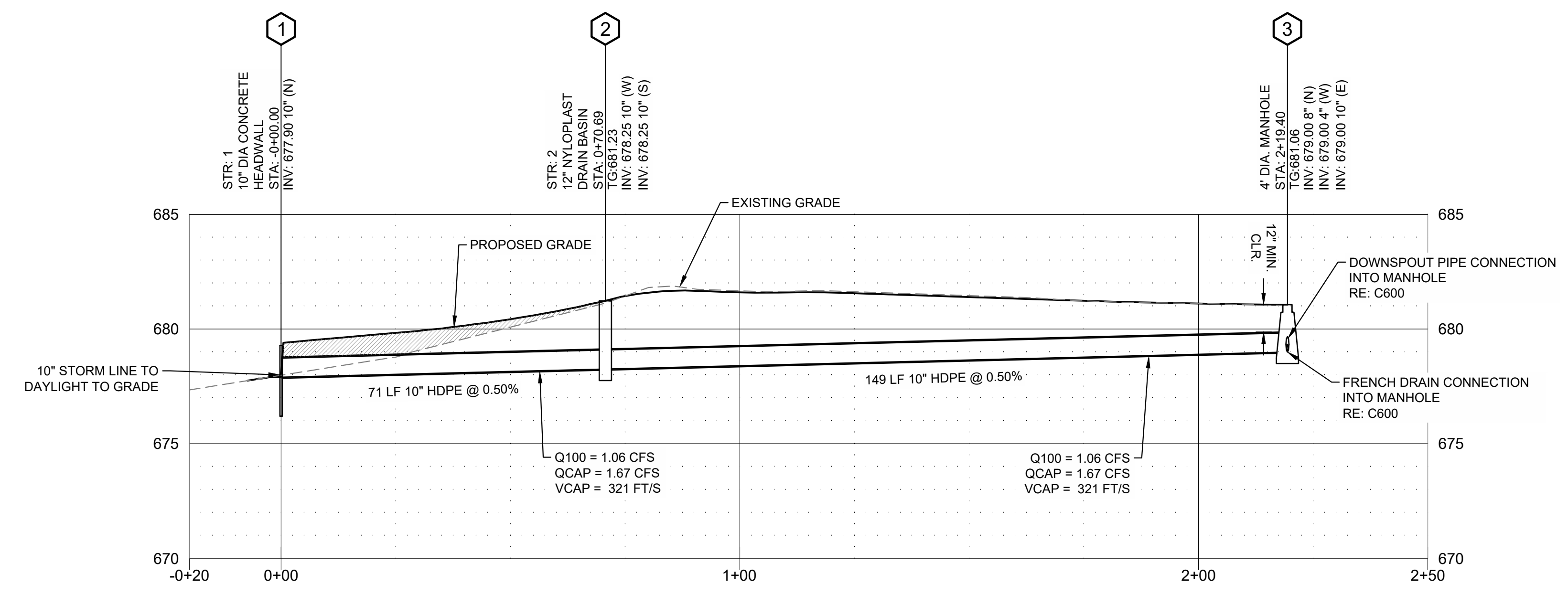
SHEET NAME:
STORM SEWER PLAN & PROFILES

SHEET NUMBER:
C700

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1 STORM MANHOLE PLAN - LINE A
SCALE: 1" = 20'



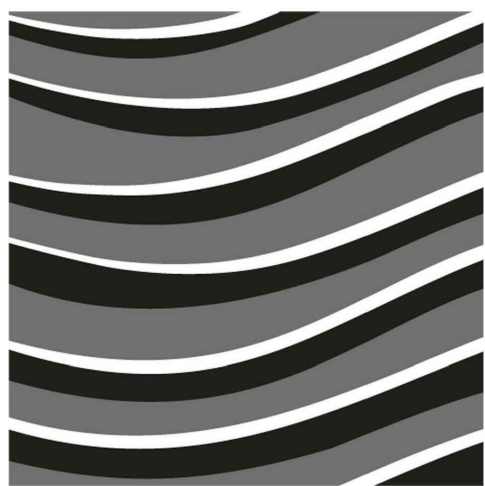
2 STORM SEWER PROFILE - LINE A
HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 4'

CAUTION
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CHEROKEE CULTURAL CENTER WATER MITIGATION
700 E. Durham Ave.
Dewey, Oklahoma 74029
C800
DETAILS



BLUE RIVER PROJECT NUMBER:
20210121.53

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6/28/2024

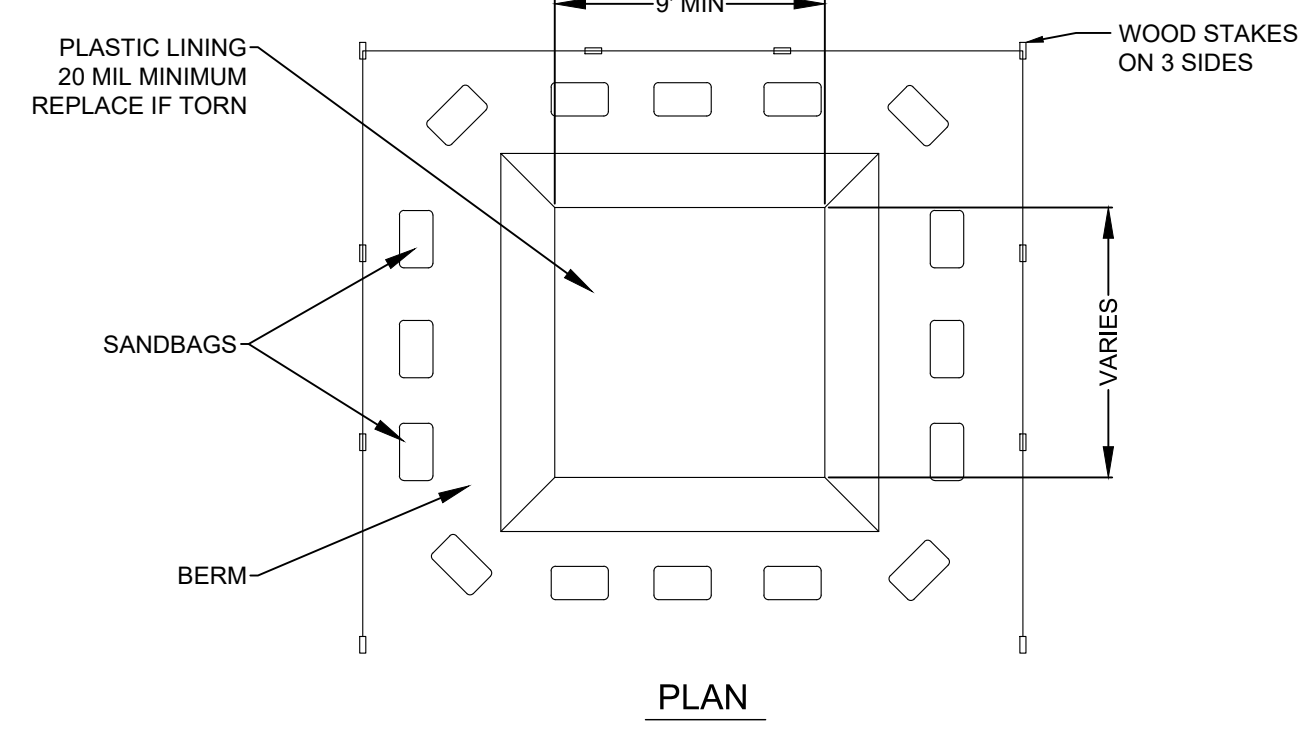
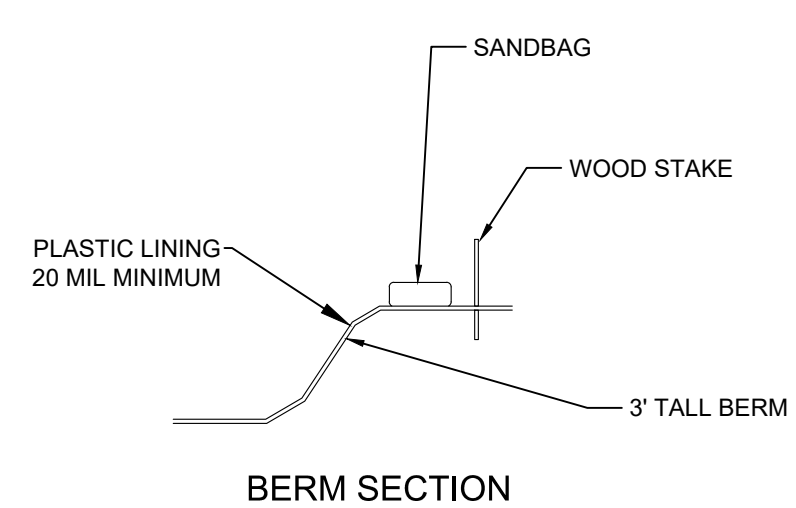
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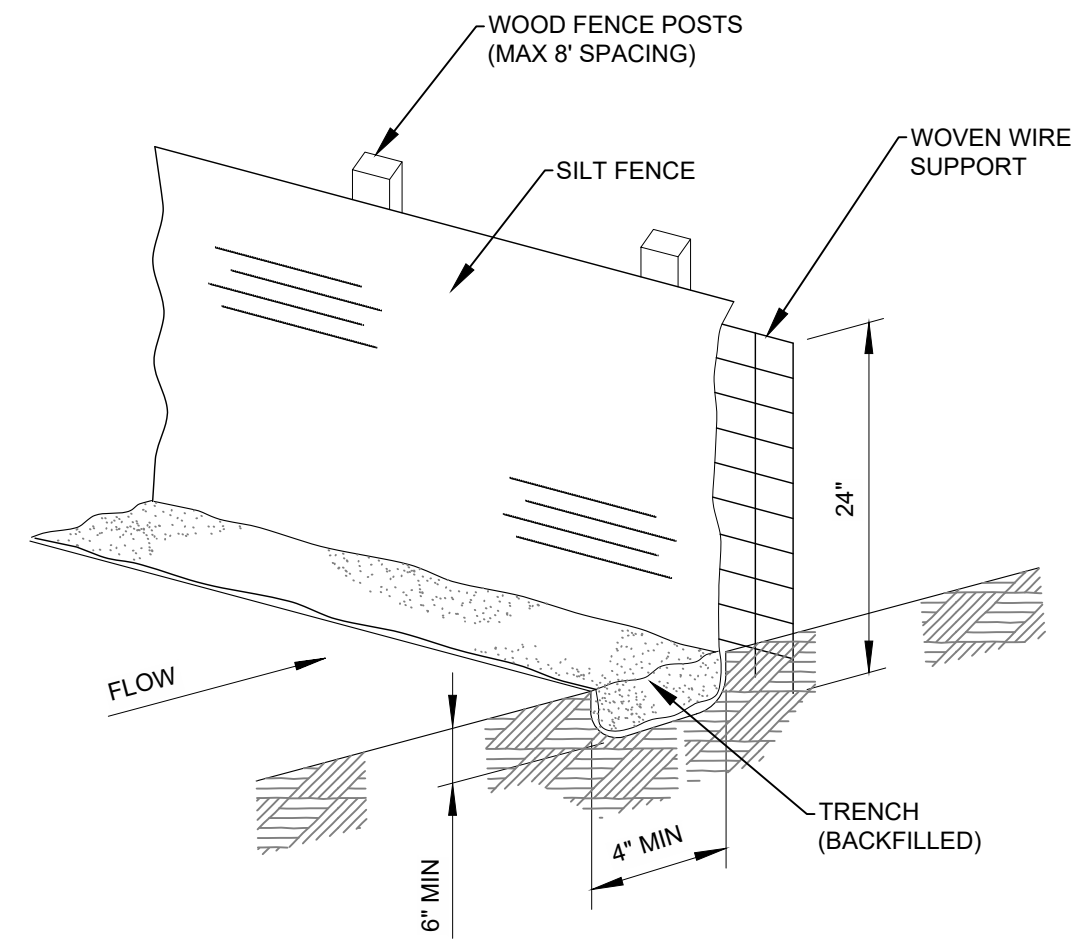
SHEET NAME:
DETAILS

SHEET NUMBER:
C800

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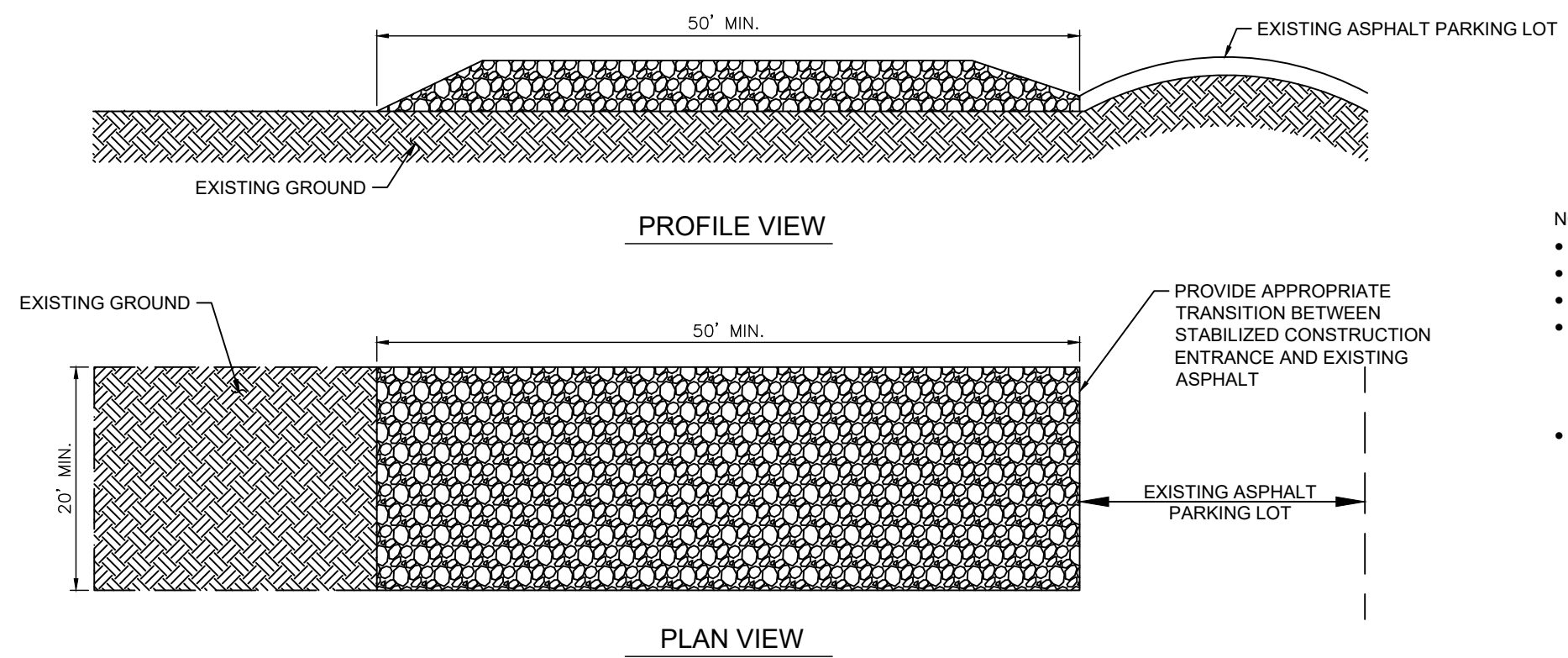
ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONCRETE PIT FOR THE ENTIRE LENGTH OF THE PROJECT OR UNTIL IT IS REMOVED FROM THE PROPERTY.
LINER TO BE IMPERMEABLE



POSTS SHALL BE INSTALLED AT A SLIGHT ANGLE AGAINST THE FLOW
SILT FENCE SHALL BE SECURELY FASTENED TO EACH POST OR TO THE WOVEN WIRE WHICH IS IN TURN ATTACHED TO THE FENCE POSTS

1 SILT FENCE
SCALE: NTS

2 CONCRETE WASHOUT PIT
SCALE: NTS

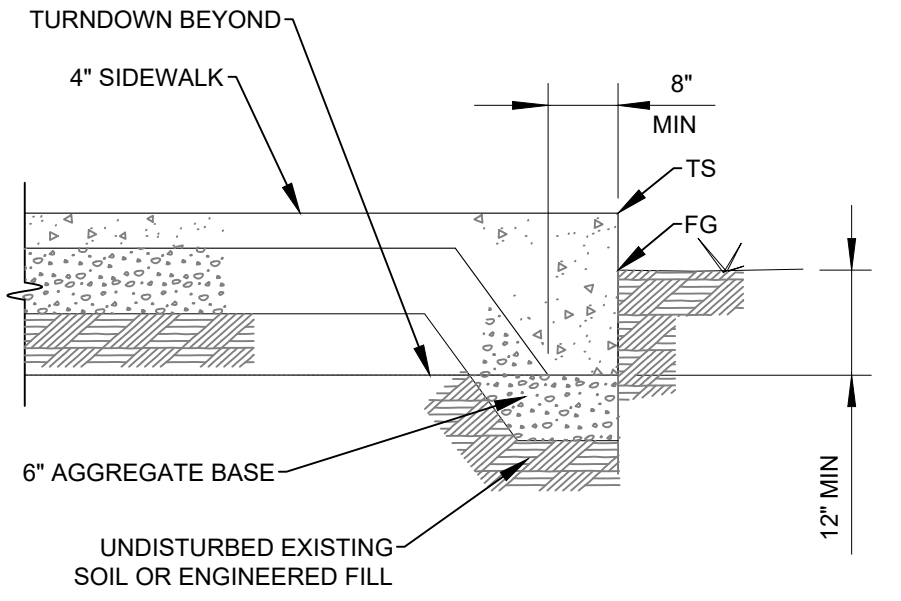
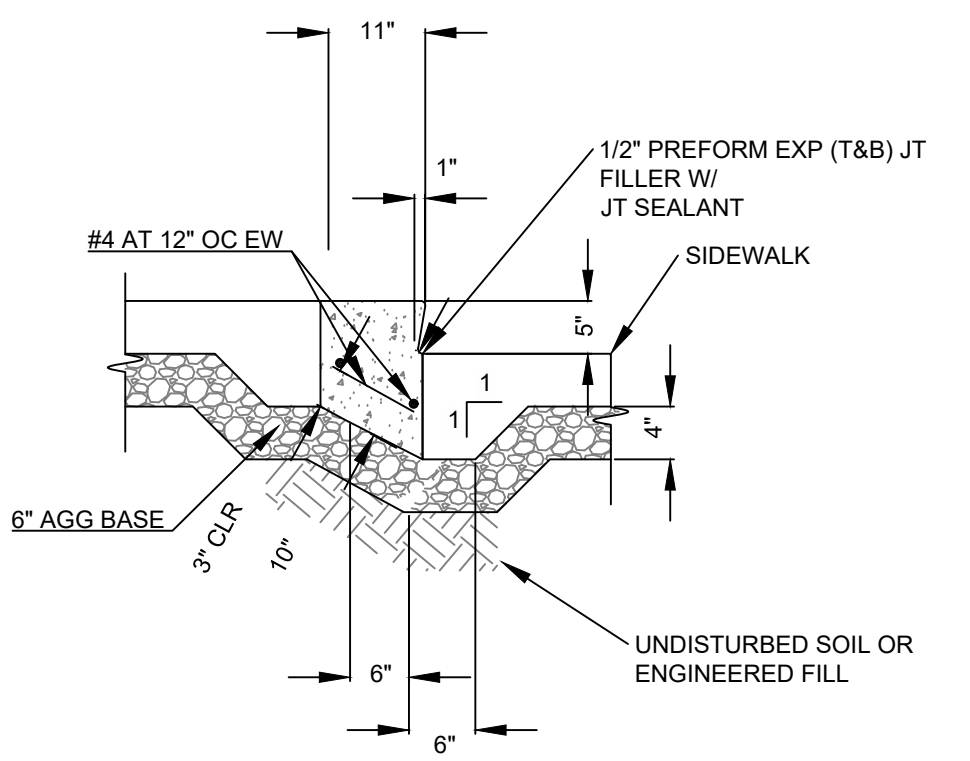


NOTES:
• STONE SIZE AASHTO DESIGNATION M43, SIZE NO. 1 (2-1/2" TO 1-1/2"), USE CRUSHED STONE
• LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
• WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
• WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SANDBAGS, GRAVEL BOARDS, OR OTHER APPROVED METHODS.
• MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.

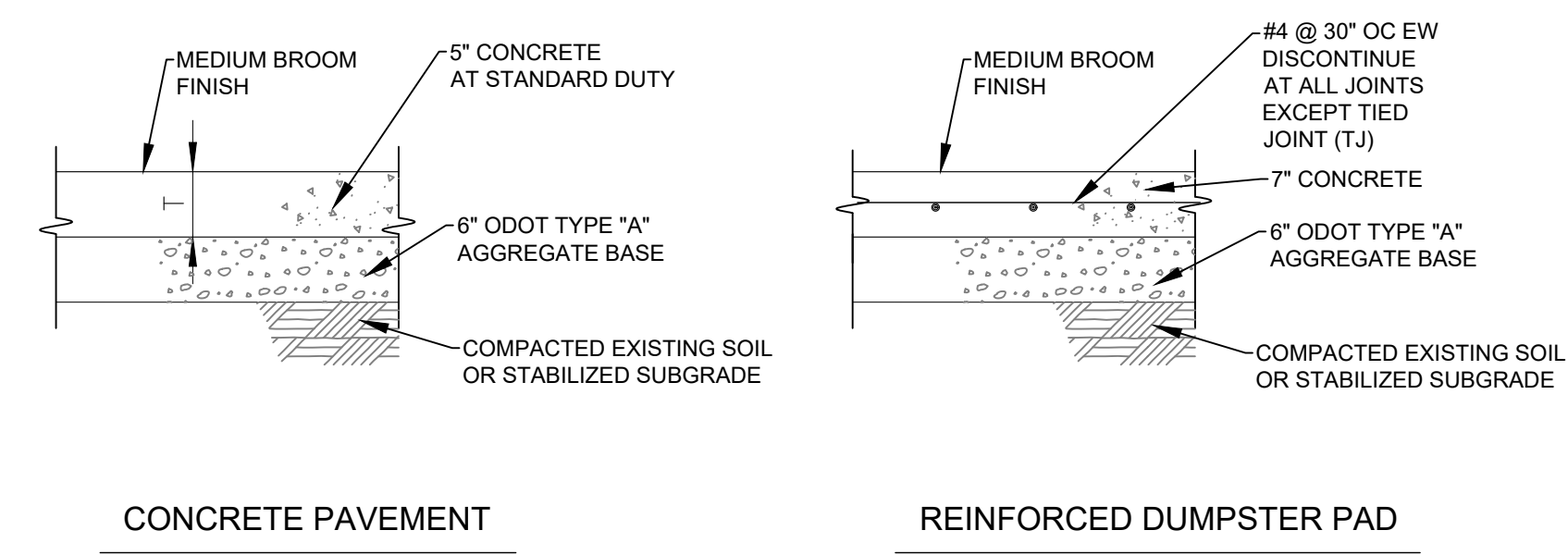
3 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS

4 STEP DETAIL
SCALE: NTS

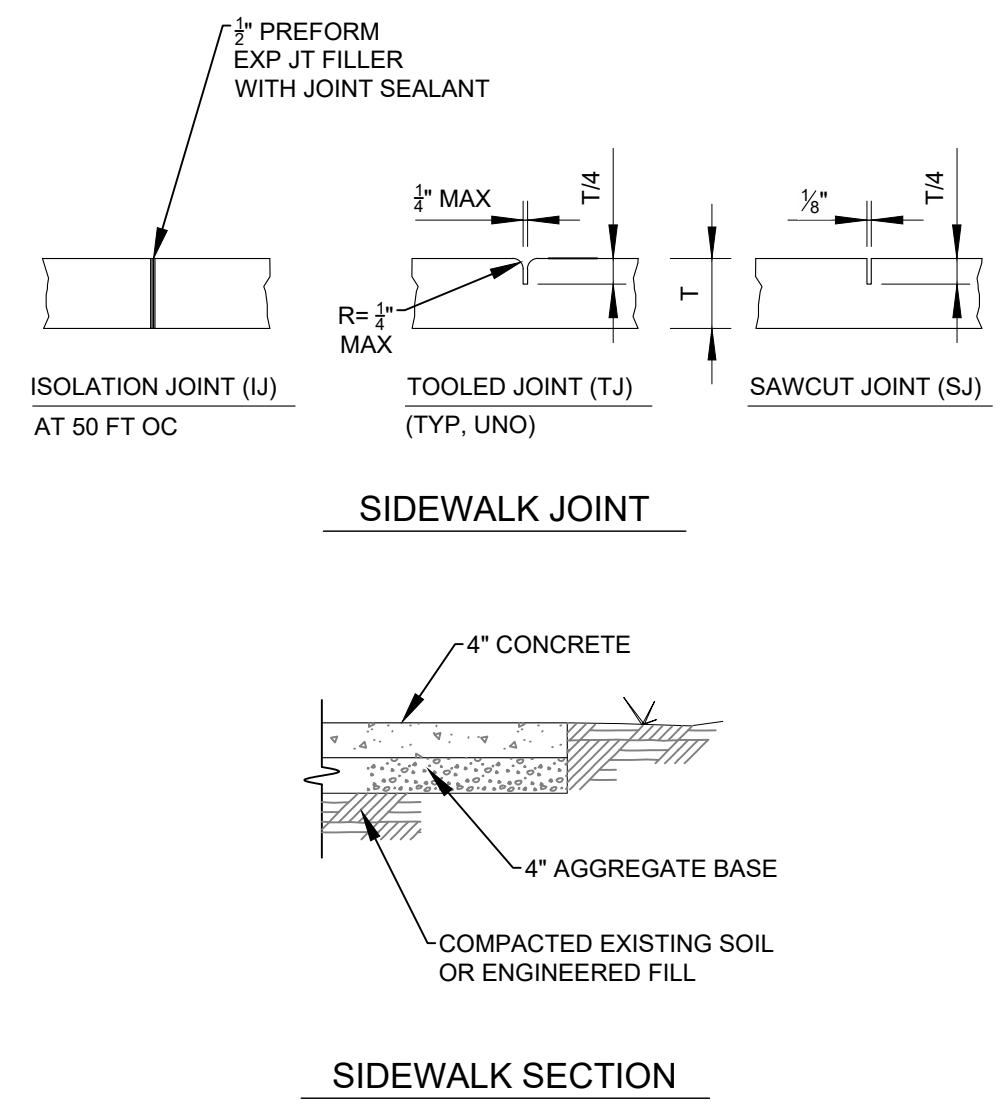
5 CONCRETE STOOP
SCALE: NTS



REFER TO PAVEMENT REQUIREMENTS RE: 8/C800 FOR ADDITIONAL REQUIREMENTS



6 TYPICAL PAVEMENT SECTIONS
SCALE: NTS



7 SIDEWALK
SCALE: NTS

REFER TO TYPICAL PAVEMENT REQUIREMENTS FOR CONCRETE SPECIFICATIONS RE: 8/C800
SIDEWALK TO HAVE MAX 2% CROSS SLOPE
SIDEWALK FINISH SHALL BE A LIGHT BROOM FINISH, UNO
SIDEWALK THROUGH DRIVEWAYS SHALL BE MIN 6" THICK
SIDEWALK JOINT SPACING EQUAL TO SIDEWALK WIDTH, UNO
AGGREGATE BASE TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY
COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY
ISOLATION JOINTS REQUIRED WHERE SIDEWALK ABUTS CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, OTHER FIXED OBJECTS, OR EXISTING PAVEMENT

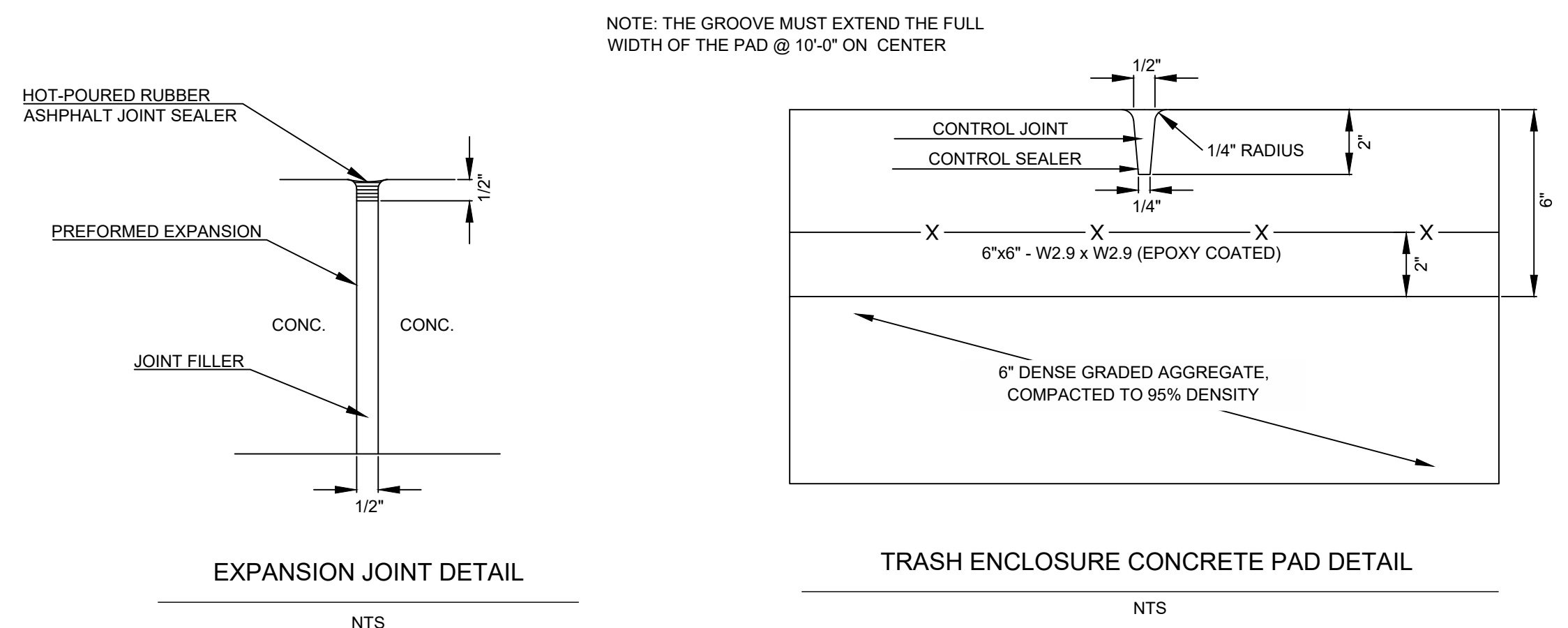
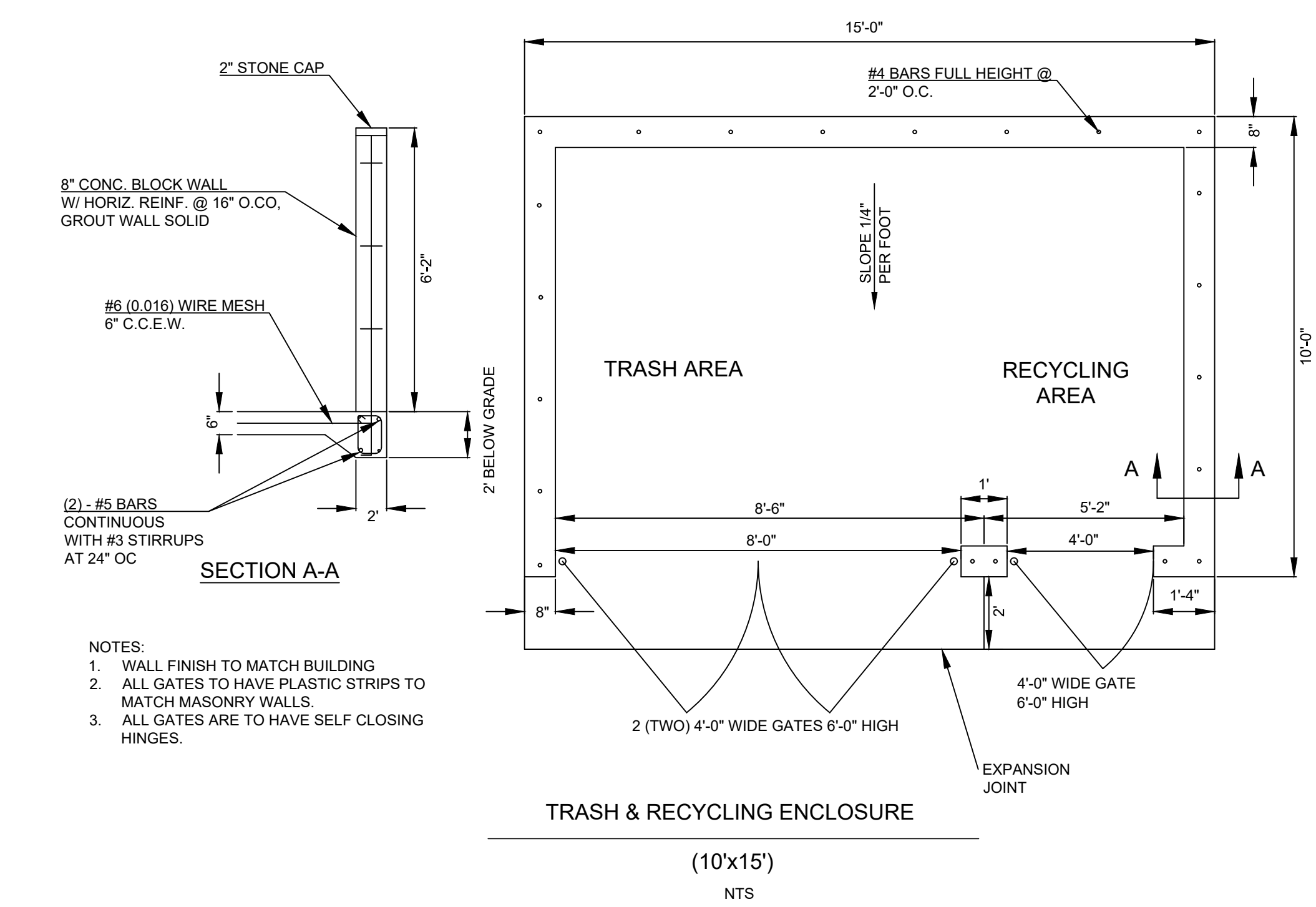
10" ENGINEERED FILL COMPACTED TO 95% STANDARD PROCTOR DENSITY
ENGINEERED FILL SPECIFICATIONS
1. MATERIAL WITH A MAXIMUM DRY DENSITY IN EXCESS OF 100 PCF
2. PLASTICITY INDEX (PI) MAXIMUM OF 18
3. LIQUID LIMIT (LL) MAXIMUM OF 40
4. CONTAINING AT LEAST 15 PERCENT FINES (MATERIAL PASSING THE NO.200, BASED ON DRY WEIGHT)
5. SHALL NOT CONTAIN ROCK FRAGMENTS GREATER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
6. PRIOR TO ANY FILLING OPERATIONS, SAMPLES WILL NEED TO BE TESTED BY AND APPROVED BY GEOTECH ENGINEER.
AGGREGATE BASE TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY

8 TYPICAL PAVEMENT REQUIREMENTS
SCALE: NTS

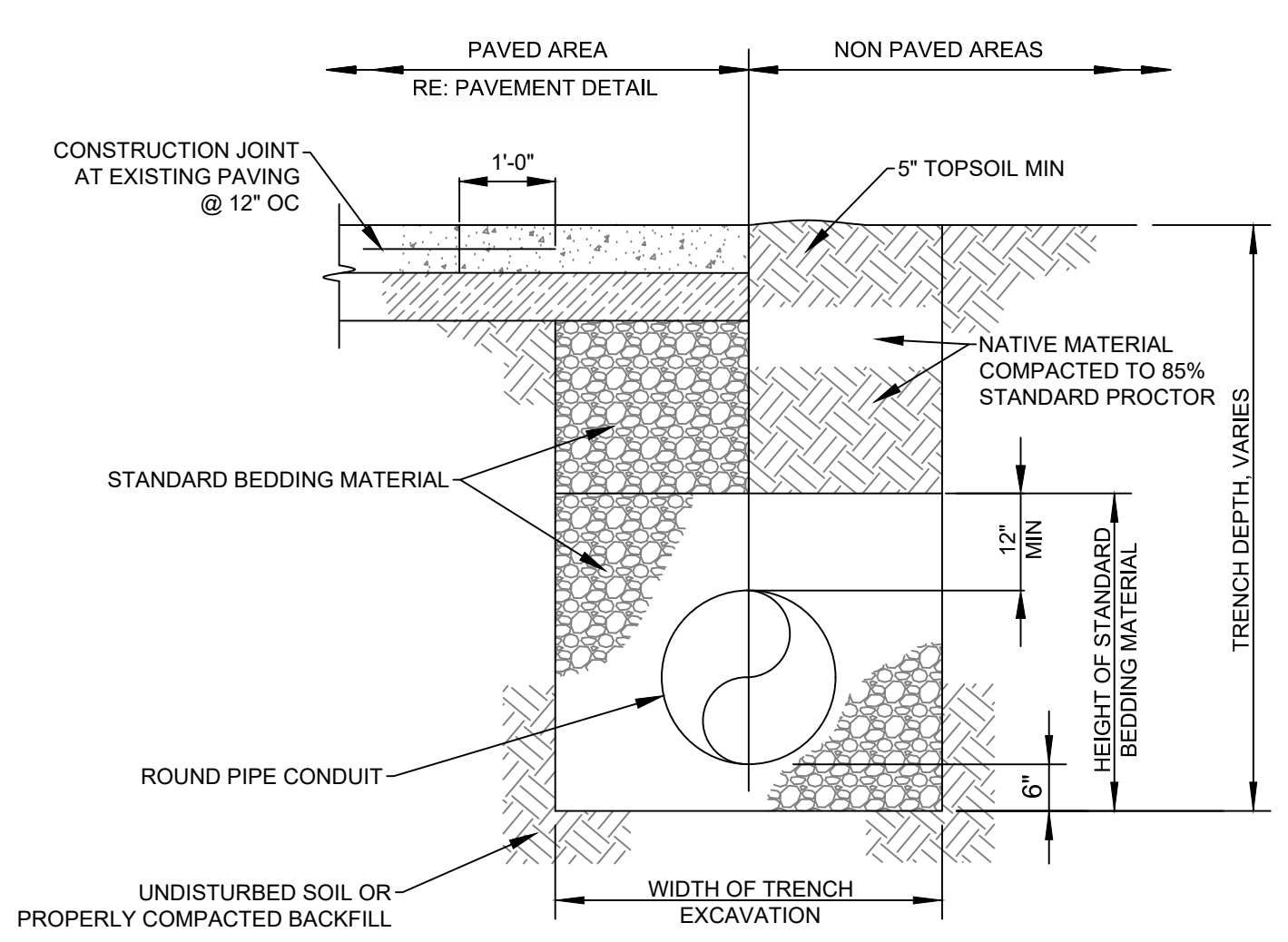
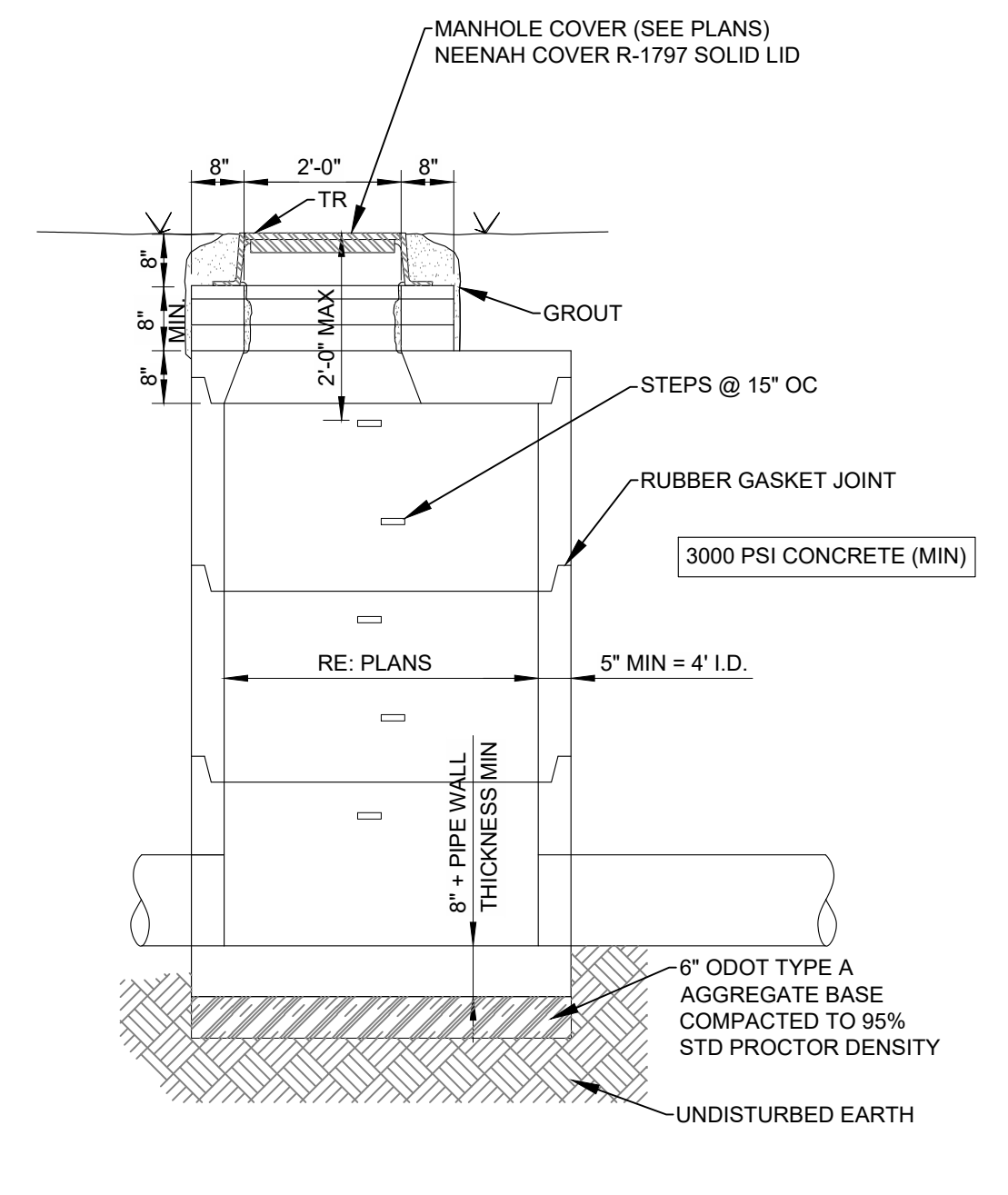
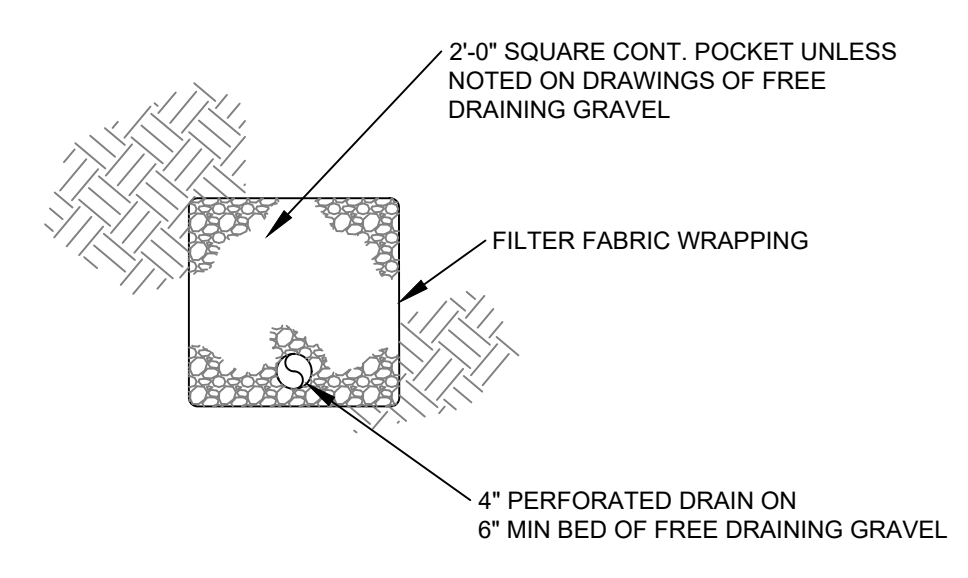
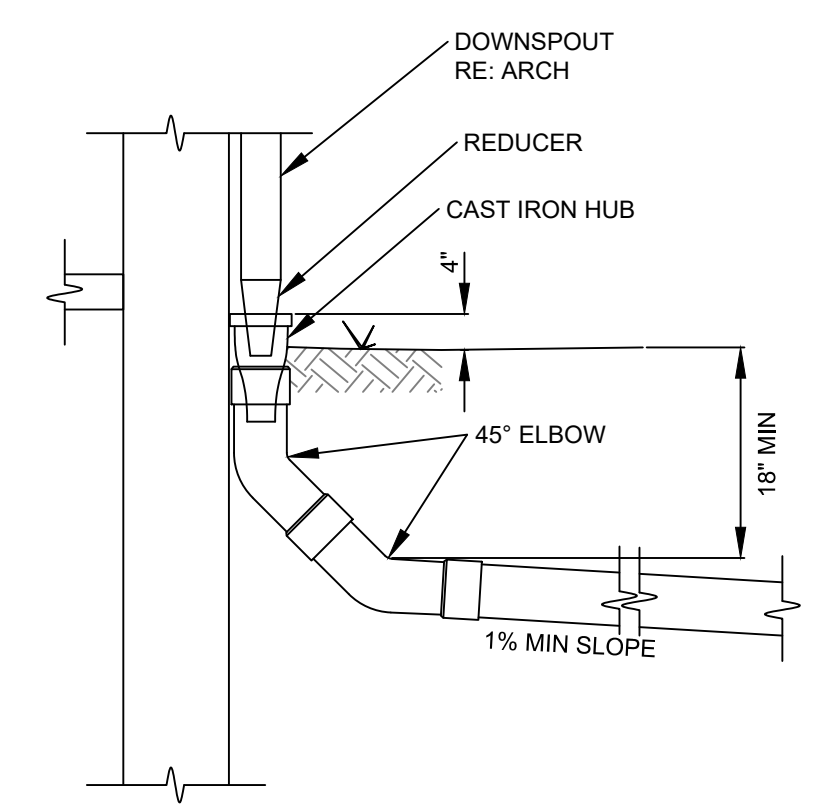
FLY ASH OR POZZOLAN NOT PERMITTED
COMPRESSIVE STRENGTH (28 DAYS): 4000 PSI
MAX WATER-CEMENTITIOUS RATIO AT POINT OF PLACEMENT: 0.45
SLUMP LIMIT: 4" PLUS OR MINUS 1"
AIR CONTENT: 6% PLUS OR MINUS 1.5%
CALCIUM CHLORIDE SHALL NOT BE PERMITTED IN CONCRETE MIXTURES
CHEMICAL ADMIXTURES TO MEET DOT SPECS FOR HIGHWAY CONSTRUCTION
CEMENTITIOUS MATERIALS TO CONFORM TO THE DOT SPECIFICATION FOR HIGHWAY CONSTRUCTION; LIMIT PERCENTAGE BY WEIGHT OF CEMENTITIOUS MATERIAL OTHER THAN PORTLAND CEMENT ACCORDING TO ACI 301 REQUIREMENTS

CONCRETE PAVEMENT AND SIDEWALKS

SUBGRADE AND AGG BASE



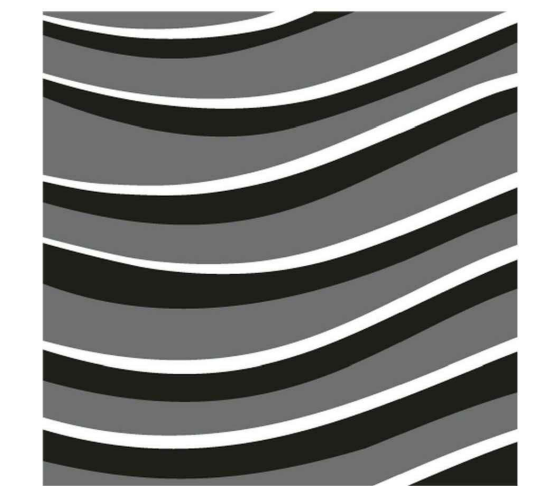
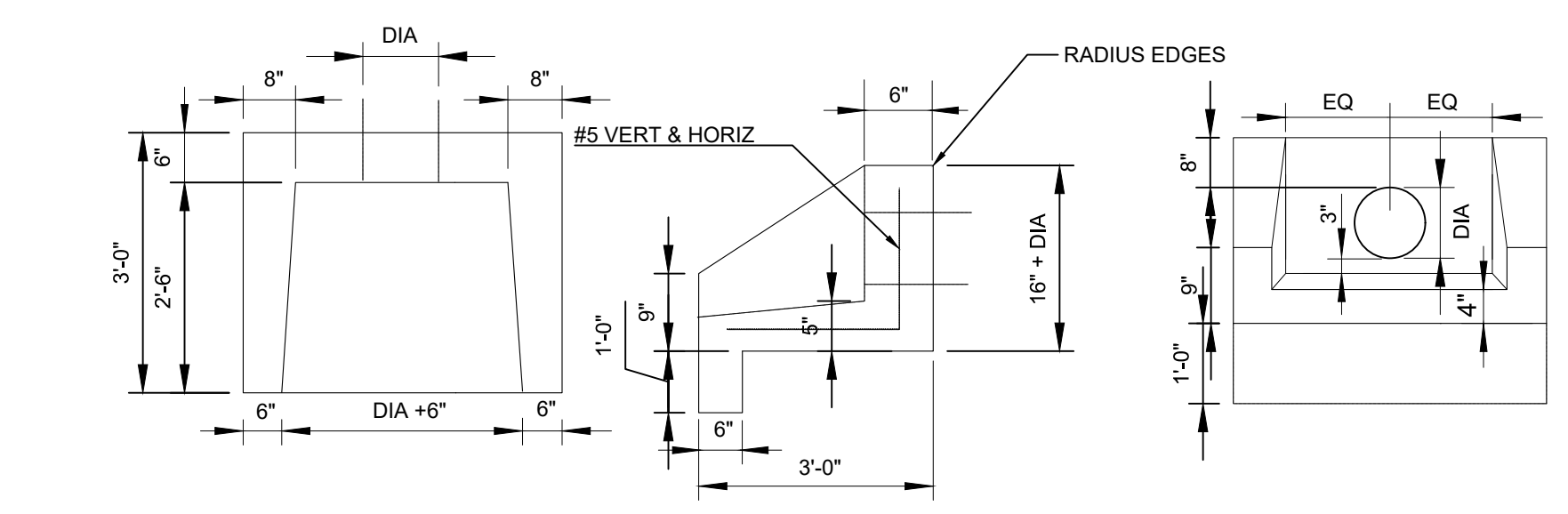
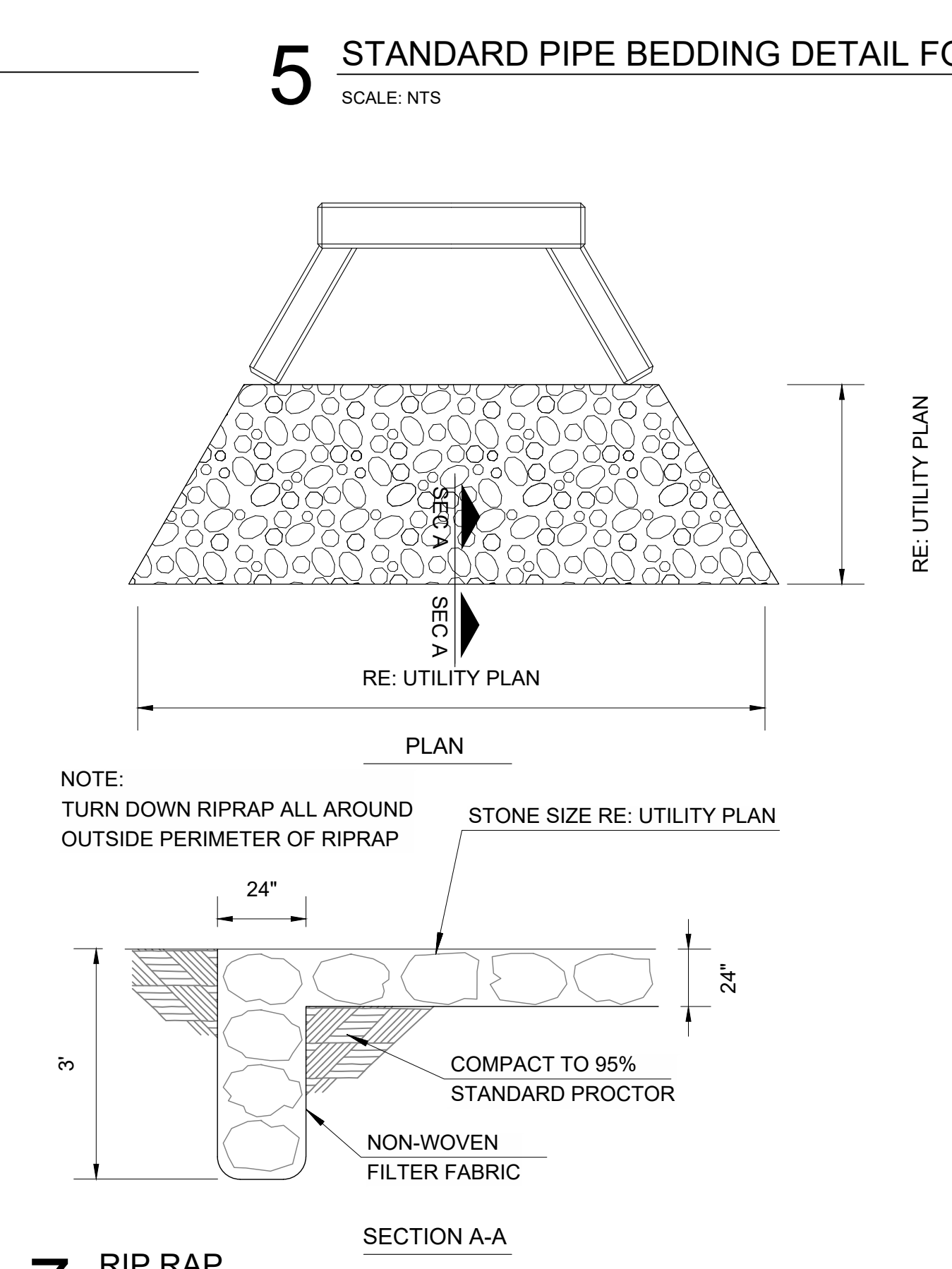
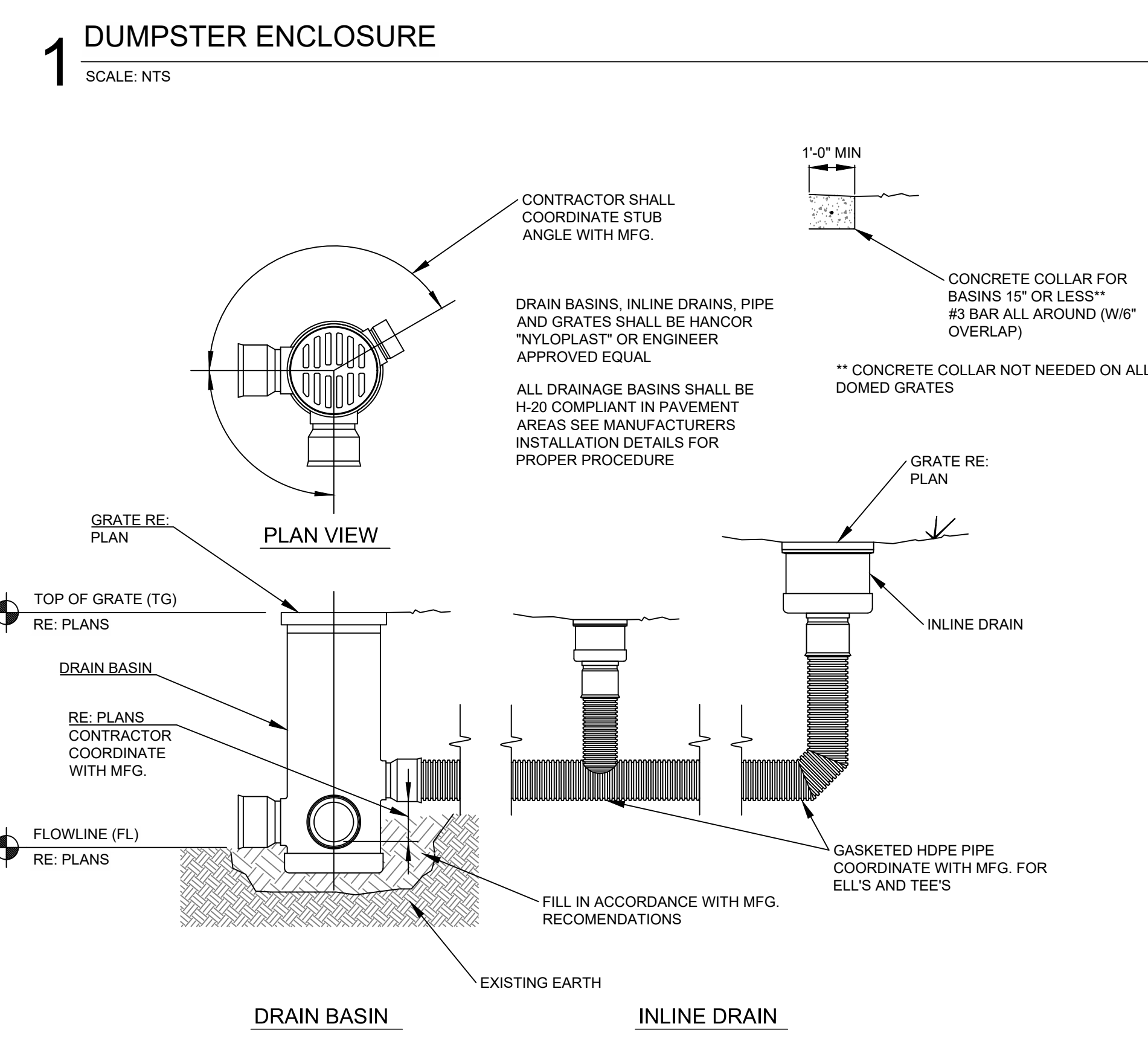
- NOTES:
- JOINT SEALER MATERIAL MUST NOT BE OVERHEATED. SEE MAXIMUM SAFE HEATING TEMPERATURE SHOWN ON PACKAGE CONTAINING SEALER.
 - W.W.F.-WELDED STEEL WIRE FABRIC SHALL NOT BE LESS THAN 5 FEET IN WIDTH AND SHALL BE SHIPPED IN SHEETS NOT IN ROLLS AND SHALL CONFORM TO ASHTO M55.



TRENCH NOTE:
BRACING AND SHEATHING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND OSHA SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION TO BE RESPONSIBILITY OF THE CONTRACTOR.

BEDDING NOTE:
STANDARD BEDDING MUST BE ODOT TYPE "A" AGGREGATE BASE. UNDER PAVING ODOT TYPE "A" AGGREGATE BASE MUST BE TO THE TOP OF THE TRENCH. ODOT TYPE "A" AGGREGATE BASE TO BE COMPACTED TO 95% STANDARD PROCTOR.

PIPE SIZE, IN.	TRENCH WIDTH, FT.
ID < 24"	OD + 2'
24" > ID < 36"	OD + 2.5'
36" > ID < 60"	OD + 3.5'
ID > 60"	OD + 4'



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123 north martin luther king jr. Blvd.
tulsa, oklahoma 74103
918.584.5858
oklahoma.csl.440
exp: 6-30-25

CHEROKEE CULTURAL CENTER WATER MITIGATION
700 E. Durham Ave.
Dewey, Oklahoma 74029
C801
DETAILS



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